

# Kingston Frontenac Public Library

Central Branch Redesign/Renovations



June 2016

## Heritage Impact Statement

*Prepared for:*

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# 1. Background

## 1.1 Introduction

This Heritage Impact Statement has been prepared at the request of HDR Architects as part of the overall revitalization project for the Kingston-Frontenac Public Library – Central Branch building. It has been prepared following the City of Kingston’s requirements for the preparation of Heritage Impact Statements. The report provides a summary history as well as a detailed chronology of the development of the property (Appendix 1), an assessment of existing conditions including a description of the property, an evaluation of heritage significance, a proposed conservation and development approach, and a summary of impact.

## 1.2 Existing Conditions

### Summary

The subject property is part of a complex of buildings occupying most of the south-west side of Johnson Street between Bagot and Wellington Streets; the property also occupies the south side of Bagot Street between Johnson and William Streets in downtown Kingston, Ontario (Figure 1). The complex includes three main elements: a seniors’ apartment building along Bagot Street up to the William Street corner; the restored exterior shell of the former Parish (Bishop’s) House at the corner of Bagot and Johnson Streets, and a large library building addition to the Parish house that extends along Johnson Street. The property is on the edge of the Old Sydenham Heritage Conservation District (HCD) and is at the transition between that predominantly residential neighbourhood and the institutional buildings along the north-eastern side of Johnson Street.

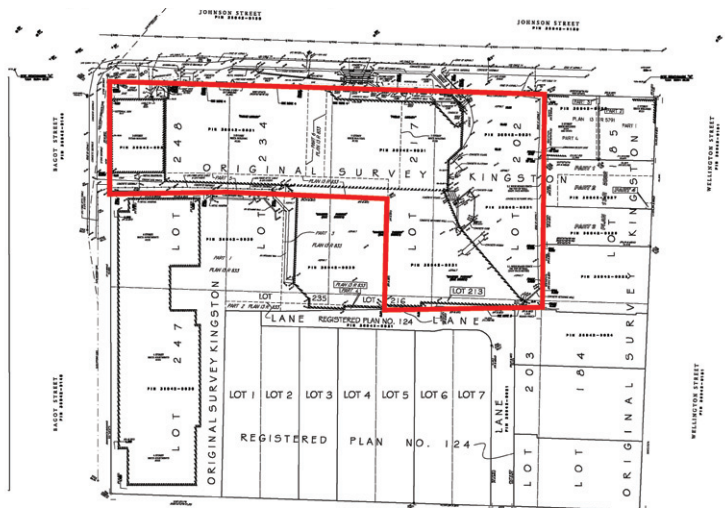


Figure 1: Location of Subject Property.

*Property Address:* 130 Johnson Street, City of Kingston

*Present Owner:* City of Kingston (Kingston Frontenac Public Library)

*Contact Person:* Robert Crothers, Project Manager, City of Kingston (613) 546-4291 x 3162



*View of Parish House from Bagot Street looking towards Johnson Street*

### 1.3 Description of Built Form

The main cultural heritage resource on the property is the Parish House, also known as the Bishop's House. It is designated under Section 29, Part IV of the Ontario Heritage Act via City of Kingston By-law #8497 as well as part of the Old Sydenham Heritage Conservation District (under Part V of the Ontario Heritage Act.) The relevant sections of By-law # law 8497 has been attached as Appendix 2. Its Statement of Cultural Heritage Value or Interest (SCHVI) for the property is as follows:

This building was first recorded in the Ordnance Papers of 1813 as being owned by the Reverend Macdonnell. Although this building has received some stylistic alterations, namely a mansard roof and some Gothic Revival trim, it is on the whole a good example of a Classic Revival townhouse.

As this SCHVI is not sufficiently detailed to identify the key heritage values and heritage attributes for the property, the description found in Volume 2 of Buildings of Architectural and Historic Significance was used to gather additional information on the key heritage attributes. From this description, the following heritage attributes were identified:

- Exterior of smooth-faced limestone with joints minimized on the walls facing Johnson and Bagot Streets (the other wall facing the side passageway is of rubble construction);
- Main façade (Bagot Street) of five bays with a main entrance in the central bay;
- Entrance door recessed in a panelled reveal with an elliptical head. Gothic Revival arches atop sidelights and in recessed panels in the wooden door. Dentils above the door and in the elliptical wooden arched door surround. Surround arch supported by two pilasters with Composite capitals;
- Second floor window over the entrance is Palladian with an ellipse arch in the centre;
- Fenestration on the first two storeys is rectangular with twelve pane (6/6) wooden window units with limestone lugsills. The first two storeys of the 3-bay Johnson Street wall has two 6/6 windows on each floor, in the first and third bays;
- The third storey is set off from the lower storeys by a limestone string course above which is a dentilled wooden cornice. Above this is a standing seam metal mansard roof with segmental arched window openings and limestone lugsills. The windows are contained within

shallow round-arched dormers with 2/2 window units with an elliptical glazed transom above. There are two dormer windows on the Johnson Street and passageway sides and three on the main (Bagot Street) façade; and

- The wall facing the passageway has the same fenestration pattern, mansard and detailing as the Johnson Street side.



*View of 1978 addition from Wellington Street looking north up Johnson Street*



*Southern end of the facade with arcade*



*Central portion of the facade with large oriel and main entrance*



*Northern portion of facade with small oriels and inset upper storey*





*Glazed link between the addition and the Parish House*

This statement does not include any reference to the 1978 addition; however, the addition is referenced within the Inventory completed as part of the Old Sydenham HCD Study and Plan. In reviewing this document the following description was provided:

*130 Johnson Street*

The building features a long, generally flat façade, with the exception of a large, brick-faced oriel window with sidelights on its second storey; two smaller sunroom-oriel windows on the second storey's northwest side, and a set-back third storey above the latter. Small, rectangular windows with common ashlar sills are grouped along the building's upper storeys. The main storey contains a recessed entranceway flanked by a long access ramp and stairs to the southeast. These are fronted by regularly-spaced, arched openings with ashlar surrounds. The archways maintain uniformity across the façade through their similarity to the building's northwest-side windows. The first-floor windows have ashlar surrounds, and are fronted by a long, northwest-side, access ramp.

The 1978 addition is designed in what could be termed an Italianate interpretation of Modernism. It has brick as the primary wall surface, with exposed concrete in exposed rafter ends, window surrounds and fascia. The massing is not rectilinear; instead it incorporates a shallow gabled roofline, inset and angled walls and both recessed and protruding windows (in oriel).

Its use of repetitive arched openings along the main façade, incorporating an arcaded passageway leading to the central door, has references to medieval architecture. According to pamphlets prepared by the architect at the time of construction (Appendix 4), the original design intent included as one of the five primary objectives “to design a friendly building which would fit in with the old buildings of the neighbourhood.” The architects describe the main exterior design elements as follows:

A sloped roof sits comfortably on a long building relieved with setbacks and projections which result from the room shapes and sizes. A covered arcade gives shelter to the entrance, to parked bicycles and to a walkway toward the parking area.

Windows are placed and sized to suit the rooms inside rather than for external appearance....A rich warm blend of brick similar to nearby older houses blends the Library with the surrounding residential area, while stone trim around windows and arches, helps form a relationship with the Bishop’s House portion of the Library and neighbouring institutional buildings.

There is an Ontario Heritage Trust interpretive plaque located on the public sidewalk to the left of the Bagot Street entrance: it commemorates Bishop McDonnell.



Plaque (vandalized)  
outside the Parish House

## 2. History and Description

### 2.1 History of the Library Property

A comprehensive history of the subject area is found in Appendix A. The key elements of the property's history are as follows:

- 1806: Alexander McDonell, Catholic priest, receives a Crown grant of two lots that will become the sites of St. Joseph's Church and graveyard and the Parish House (part of the current library)
- 1808: St. Joseph's Church is built fronting on William Street at Bagot (later a school), with an adjacent graveyard fronting on Bagot (site of today's Seniors' Complex)
- 1822: Reverend William Fraser builds the Parish House (also known as the "Bishop's House") as a home for Catholic priests
- 1826: Bishop McDonell [note spelling] moves into the House (it remains a bishop's residence until 1852); he dies in 1840
- 1846: A Catholic Order of nuns (Sisters of the Congregation of Notre Dame) move into the Parish House
- 1877: the original design of the House is altered by the addition of a third storey mansard roof and the removal of the original hipped roof and balancing stone chimneys
- 1897: Parish House convent is expanded with a three storey stone addition along Johnson (site of the 1978 addition)
- 1911: convent is expanded further along Johnson Street (site of the 1978 addition) with a three storey, mansard roofed stone addition
- 1969: Notre Dame convent is closed and the property put up for sale
- 1972: convent buildings are demolished and the Parish House is saved from total demolition, remaining as a three storey shell (no roof, window units or interior elements, but the main entrance survives), property now owned by City
- 1974: local architects Lily Inglis and Wilfred Sorensen selected to design the new library
- 1975: final building plans accepted by the City; Province provides a heritage grant for conservation of the Parish House on the condition that it be designated under Part IV of the Ontario Heritage Act
- 1976: Seniors' Complex built next to the Parish House along Bagot on the site of the former church/school and graveyard (burials removed)
- 1978: Library opens, integrating the Parish House into the new library (new interior), restoring the mansard roof and windows
- 1998: Central Library becomes the administrative headquarters for the newly amalgamated Kingston Public Library and the Frontenac County Library

## 3. Cultural Heritage Resource Assessment

### 3.1 Ontario Heritage Act Regulation 9/06 Criteria

As noted, the designation by-law for the Library property deals only with the Parish (Bishop's) House, and lacks sufficient details concerning the property's cultural heritage values and heritage attributes.

In order to bring this description up to current Provincial standards for heritage designation, the following assessment is made using the criteria and categories found in Ontario Regulation 9/06. It is recommended as part of the revitalization project that the City update the by-law based on the findings of this report. Nonetheless, the following values were identified and have been used to assess the potential impact.

#### **Parish House**

##### DESIGN/PHYSICAL VALUE

The Parish House is a representative and rare surviving example of an early 19th century townhouse designed in the Classical Revival style that was popular in the UK and Upper Canada at that time and often reserved for important urban buildings. Later alterations (Gothic door surround, mansard roof) are compatible with the original design.

The current building is only a shell; the original roof, interior and most of the rear wall were demolished prior to construction of the library and the existing window units, mansard roof and door proper are reconstructions.

##### HISTORICAL/ASSOCIATIVE VALUE

The Parish House has historical value as one of the oldest townhouses in downtown Kingston, pre-dating the period of construction around the time of Kingston's role as a capital city. It is associated with the establishment of the Roman Catholic Church in Kingston, with the establishment of the first Roman Catholic church and with the establishment of the Notre Dame convent. It is especially associated with Bishop McDonnell [or McDonell] and his role in establishing the Catholic Church in Kingston.

##### CONTEXTUAL VALUE

(See description below)

## 1978 Addition

### DESIGN/PHYSICAL VALUE

The 1978 addition is a representative example of the work of two prominent Kingston architects: Lily Inglis and Wilfred Sorensen. The 1978 building was an important addition to Kingston's downtown in that it attempted to be a compatible design, one that fit within the context of the established streetscape which included heritage buildings in the vicinity. While clearly a contemporary building, the addition provided several design features that take cues from historic precedents, particularly monastic construction. For example, the use of an arcade and complementary shallow arched ground floor fenestration, the addition of oriel windows, exposed rafter ends, gabled roofs, and the overall articulation of the building massing all stem from historical precedent. The use of brick as the main cladding, with concrete detailing, is also distinctive. Some of these elements have potential heritage value.

### HISTORICAL/ASSOCIATIVE VALUE

The 1978 library building, by integrating the Parish House within the expanded development, is associated with the growing interest in heritage conservation at the time of Kingston's tercentennial and with the municipality's role in conserving the Parish House. The building is also associated with the work of two prominent Kingston architects: Lily Inglis and Wilfred Sorensen.

### CONTEXTUAL VALUE

The Parish house and library addition are part of an important civic complex at a prominent downtown intersection on the edge of a Heritage Conservation District. The library buildings (Parish House and 1978 addition) anchor one corner of Bagot and Johnson Street, facing the downtown. As public institutions, they are part of a grouping of similar land uses in the area (hospital, churches). The scale and massing of the library buildings complement the buildings across the street and provide an effective transition from the lower scale residential neighbourhood to the downtown core.

## 3.2 Statement of Cultural Heritage Value or Interest

The primary goal of a Statement of Cultural Heritage Value or Interest (SCHVI) is to clearly identify any cultural heritage resources found on the subject property. The chronology of site development included in this report, augmented by the inventory of the building found here, together provide the inventory of cultural heritage resources while the criteria for heritage evaluation are those found in Ontario Regulation 9/06.

*The Kingston Frontenac Public Library Main Branch is a good example of an adaptive reuse of an existing heritage building, incorporating elements of the original townhouse within a large addition designed in a contemporary but compatible fashion.*

### 3.2.1 Heritage Attributes

#### PARISH HOUSE

- Classical Revival design with a Gothic Revival door surround
- Fenestration pattern in the three storeys below the roof (6/6 rectangular windows) with ashlar limestone lugsills
- Palladian window above main entrance
- Limestone wall construction (ashlar on two street faces, rubble stone on side)
- Mansard roof with arched dormers

#### 1978 ADDITION

- Brick cladding with concrete details
- Irregular massing, with inset upper storey and angled building edges
- Shallow-arched ground floor fenestration with ashlar surrounds
- Arcaded access walkway
- Shallow-gabled roof and exposed rafter ends
- Oriel windows

The Old Sydenham Heritage Conservation District Study and Plan noted these aspects of the addition in the property inventory. While the District Plan did not provide specific guidelines for conservation of the addition, these elements should be addressed in the design for renovation of the library.

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## 4. Heritage Policy Context

The intent of the Heritage Impact Statement is to fully meet the requirements stemming from the 2014 *Provincial Policy Statement* and the 2005 *Ontario Heritage Act*. Principal amongst these are the requirements to conserve cultural heritage resources and to prepare statements of cultural heritage value or interest that identify the heritage attributes of these resources (section 2.6). As described in Section 7.1.7 and 7.4.9 of the City of Kingston's Official Plan, Heritage Impact Statements and, where required, Stage 1 (and 2) archaeological assessments, are also important ways for the City to address the Provincial heritage policies and to secure the conservation of the key components of the subject properties.

### 4.1 Ontario Legislation/Policy

Within Ontario, cultural heritage conservation is a matter of Provincial interest. This understanding stems from not only the Ontario Heritage Act provisions, but also its expression within Section 2 of the Planning Act and other Ontario legislation such as the Funeral, Burial and Cremation Services Act and the Environmental Assessment Act. Further, under the Provincial Policy Statement (PPS) (updated in 2014), issued under Section 3 of the Planning Act, Section 2.6.1 identifies that significant built heritage resources and significant cultural heritage landscape shall be conserved.

As the PPS indicates, Ontario's long-term prosperity, environmental health, and social well-being depend on conserving biodiversity, protecting the health of the Great Lakes, and protecting natural heritage, water, agricultural, mineral, cultural heritage and archaeological resources for their economic, environmental, and social benefits. All planning decisions as well as any revised/new Official Plans within Ontario must be consistent with the PPS. In addition, all municipal projects must be consistent with a municipality's Official Plan. As a result, provincial heritage policies and legislation must be appropriately considered and integrated as part of any project that may impact cultural heritage resources. However, it must also be noted that both the PPS and an Official Plan must be considered in their entirety, and there is always a balancing of other matters of provincial interest such as transportation and intensification. Nevertheless, as this review is focused on cultural heritage matters, this report will highlight the applicable heritage policies.

For the purpose of this report, Policies 2.6.1 and 2.6.3 of the PPS are applicable. Policy 2.6.2 would be addressed should an Archaeological Assessment be required for the property. Significant built heritage resources and cultural heritage landscapes will need to be considered and appropriately conserved during this project.

In the context of the PPS, heritage significance is understood as being expressed through the formal identification and endorsement by a governmental approval body. The phrase “conserved” is also understood to encompass a range of possible interventions.

In addition, the PPS is clear that works on properties adjacent to any cultural heritage resources will need to be assessed to ensure that the heritage attributes of the cultural heritage resource will be protected through the process of changes. Strengthening of language in the 2014 update to the PPS states that development and site alteration adjacent to protected heritage property shall not be permitted except where the proposed development has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved (PPS Policy 2.6.3).

Heritage attributes are identified within the formal designation documents for a cultural heritage resource, which can include: an Ontario Heritage Act Designation By-law, a Federal Heritage Building Review Office (FHBRO) Report, a Historic Sites and Monuments Board of Canada (HSMBC) report, a Commemorative Integrity Statement, a National Historic Site or World Heritage Management Plan, and/or a Heritage Conservation District Plan and Guidelines document.

Any properties protected by the Ontario Heritage Act (under Section 27, Part IV, Part V, Part VI, or easement) must be assessed against its Statement of Cultural Heritage Value or Interest (Ontario Heritage Act Section 29 (4)) for the property, and where required, any interventions on these properties will require municipal approval. It should be noted that the Ontario Heritage Act’s applicability is limited to either the property or district boundary. The justification for adjacent review stems not from the Ontario Heritage Act, but from the PPS.



## 4.2 City of Kingston Policies

The City of Kingston has a number of policies that pertain to cultural heritage, including the City of Kingston Official Plan (2010, consolidation 2011). In addition to the management guidelines established in the Official Plan, supplementary plans have been adopted to guide the City. These include the Strategic Plan 2011–2014, the Culture Plan (2010), the Sustainable Kingston Plan (2011), and Planning for the Conservation of Archaeological Resources in the City of Kingston (2010).

The City of Kingston has also adopted several recognized cultural resource management protocols and charters, as identified below.

## 4.3 Official Plan

Cultural heritage resources will continue to be valued and conserved as part of the City's defining character, quality of life, and as an economic resource (Section 2.3.7). Section 2.8.9 of the City of Kingston's Official Plan states that cultural heritage resources, which include protected heritage buildings, built heritage resources, cultural heritage landscapes and archaeological resources, will be conserved, managed and marketed for their contributions to the City's unique identity, history, and sense of place in such a way as to balance heritage with environmental and accessibility concerns. The balance that is indicated in Section 2.8.9 can be achieved through the cultural heritage-specific policies of Section 7.

Section 7.1.10 of the Official Plan states "conserving cultural heritage resources forms an integral part of the City's planning and decision-making. The City uses the power and tools provided by legislation, policies and programs, particularly the Ontario Heritage Act, the Planning Act, the Environmental Assessment Act, and the Municipal Act in implementing and enforcing the policies of this section." A variety of tools and programs are identified to support the conservation of cultural heritage resources, including:

- Designating real property under Parts IV, V, or VI of the Ontario Heritage Act;
- Requiring, as a condition of approval, the retention of any cultural heritage resources found within a plan of subdivision, a plan of condominium, or on a retained parcel created by consent, or other land division approval;

- Using zoning by-law provisions as appropriate, to preserve identified significant cultural heritage resources;
- Using the bonus provisions of Section 37 of the Planning Act in order to maintain the integrity of identified cultural heritage resources;
- Using site plan control provisions to ensure that new development on adjacent properties is compatible with the adjacent identified cultural heritage resources;
- Creating an Aboriginal Protocol to ensure meaningful consultation with appropriate First Nations groups; and,
- Using heritage easements as a means to protect significant cultural heritage resources, where appropriate (Official Plan 2010, Section 7.1.10).

The provisions of Section 7 also enable the City to designate properties of cultural heritage value or interest, based on the evaluation criteria stated in Section 7.1.1. Areas of cultural heritage character may also be identified within the Official Plan, pursuant to Section 7.3.5.

Section 7.1.7 allows the City to require the preparation of a Heritage Impact Statement (HIS) by a qualified person for any development proposal which has the potential to impact a cultural heritage resource. Furthermore, the City may permit development and site alteration on lands adjacent to a protected heritage property where the proposed development and site alteration have been evaluated, and it has been determined through the preparation of a HIS that the heritage attributes of the protected heritage property will be conserved (Section 7.2.5).

Mitigation measures have been outlined in the Official Plan (Section 2.7.6). Mitigation measures may include:

- a) Ensuring adequate setback and minimum yard requirements;
- b) Establishing appropriate transition in building height, coverage, and massing;
- c) Requiring fencing, walls, or berming to create a visual screen;
- d) Designing the building in a way that minimizes adverse effects;
- e) Maintaining mature vegetation and/or additional new landscaping requirements;
- f) Controlling access locations, driveways, service areas, and activity areas; and/or,

- g) Regulation locations, treatment, and size of accessory uses and structure, lighting, parking areas, garbage storage facilities and signage (Section 2.7.6).

## 4.4 Municipal Heritage Policy Documents

The City of Kingston's Strategic Plan 2011–2014 identifies heritage as a key component to many initiatives of the city. These initiatives include the City's Culture Plan (2010) and the Sustainable Kingston Plan (2011).

The Culture Plan emphasizes management of cultural heritage resources within Kingston. The Culture Plan identifies the need for a cultural heritage strategy that develops Kingston's historical narrative, including built heritage and natural heritage features, into a broad-based strategy for telling Kingston's stories (Culture Plan 2010, 9).

The Culture Plan also emphasizes cultural tourism, heritage education, and building financial and organizational capacities. In the Sustainable Kingston Plan, the theme of history and heritage play a role in supporting cultural vitality, which is one of the four pillars of sustainability. The thematic statement for the history and heritage theme states, "...by including, protecting, respecting, and sharing our community's unique cultural heritage, rich and diverse narratives, and local history, Kingstonians will have a better understanding of ourselves, others, and our world" (Sustainable Kingston Plan 2011, 19). Goals of the Sustainable Kingston Plan emphasize identification, protection, and enhancement of Kingston's cultural heritage resources.

Planning for the Conservation of Archaeological Resources in the City of Kingston (2010) reduces the likelihood of unearthing unknown or unsuspected archaeological resources. It compiled an inventory of registered and unregistered archaeological sites within the City of Kingston, prepared an overview of the area's settlement history as it pertains to archaeological resources, developed an archaeological site potential model, and reviewed current federal, provincial, and municipal planning and management guidelines for archaeological resources. City of Kingston's Archaeological Master Plan (2010) identifies the area as composite potential for archaeological resources.

The City of Kingston has also adopted two specific policies for conservation of heritage attributes of heritage buildings that must be followed in any interventions in Part IV properties. These are the “Policy on Window Renovations in Heritage Buildings” and the “Policy on Masonry Restoration of Heritage Buildings”.

## 4.5 Old Sydenham Heritage Conservation District HCD Plan and Guidelines

In terms of impact on the heritage attributes of the Old Sydenham Heritage Conservation District, the Plan’s Statement of the District’s Cultural Heritage Value or Interest (Section 2.2) has heritage attributes that identify the library as an “important civic building” within the heritage attributes listed as being within the “North to Bagot” sub-district. Also within that sub-district is the heritage attribute of “buildings associated with some of Kingston’s best architects”.

The Plan contains other goals, objectives, policies and guidelines that should be addressed in any proposed alteration to the library buildings (The Parish House and the 1978). Section 2.5 Designation Goals and Objectives, sub-section 2.5.1 objectives for the District as a whole include the ongoing use of the District’s “physical attributes”, which include buildings. Sub-section 2.5.2 Heritage Buildings, has objectives that include “conserving heritage buildings or structures by using accepted principles and standards for heritage conservation, as outlined in this Plan”, “encouraging retention and restoration of original features of heritage buildings, based on archival and pictorial evidence and the assessment provided in the District Study and, where feasible, to remove incompatible past alterations made to heritage buildings”. In sub-section 2.5.4 objectives for addressing impacts on nearby heritage property include this: “for adjacent properties to the HCD boundary, applying the Cultural Heritage and Archaeology Policy (Policy 2.6.3 of the current Provincial Policy Statement) and the City of Kingston Adjacent Properties policy whenever there is an application for site alteration or development on lands adjacent to the District”.

Mandatory policies for conserving the District’s cultural heritage resources include specific policies for heritage buildings. Section 2.6 Conservation and development policies, sub-section 2.6.2 Heritage buildings states that “a) All

alterations and conservation work requiring an application for alteration, as defined in the District Plan, shall be undertaken in accordance with the policies and guidelines of the District Plan. Maintenance and minor alterations, as defined in the District Plan, shall have regard for the policies and guidelines of the District Plan.” Furthermore, sub-section 2.6.4 Regulatory process, community and economic benefit has policies that state “a) maintenance and minor alterations, as defined in the District Plan, shall be permitted on properties within the HCD”, “b) Major alterations and additions, as defined in the District Plan, shall require an application for alteration (heritage permit) and be subject to the approval process described in this District Plan”.

Discretionary guidelines for conservation of buildings within the HCD should be applied to the proposed interventions in the library building’s exterior. These include Section 4. Building Conservation, sub-section 4.3.2 Exterior walls, Chapter 5. Building alterations and additions, Section 5.1 Approach, and Section 5.2 General practices. Section 5.3 Alterations to Heritage Buildings, sub-section 5.3.2 Windows deals specifically with the types of interventions proposed and reiterates the City’s policies for heritage windows.

Procedural guidelines are found in Chapter 8. Heritage Application Process. Section 8.2 Heritage permits, quotes from the *Ontario Heritage Act*: “No owner of a property within the HCD shall do any of the following unless the owner obtains a permit from the municipality to do so:

1. Alter, or permit the alteration of, any part of the property, other than the interior of any structure or building on the property (unless the interior elements are designated)”

Section 8.2 goes on to say that “Applications for Alteration under the *Ontario Heritage Act* are required whether the owner is a private citizen, public agency, business or the municipality”. Under Section 8.3 Application criteria, the guidelines are for applications involving “d) repair and replacement of windows undertaken in conformity with the City’s “Policy on Window Renovations in Heritage Buildings” “h) re-pointing of masonry undertaken in conformity with the City’s “Policy on Masonry Restoration of Heritage Buildings“, and limited to 10% of the surface area being repaired”.

## 5. Impact Assessment

### 5.1 Overview of the Proposed Development

The proposed development involves renovation of the existing library buildings and is the outcome of recommendations in the Library's strategic planning exercise "KFPL Vision 2020". This vision has the library playing an expanded public role in offering meeting and exhibition space, as well as providing flexible space for addressing changes in use and technology.

The Parish House will have minor alterations on the interior (which dates from the 1978 construction) and have minor repairs to the exterior. The 1978 addition will have several changes to the exterior in order to bring more natural light into the interior as well as improve safety and access.

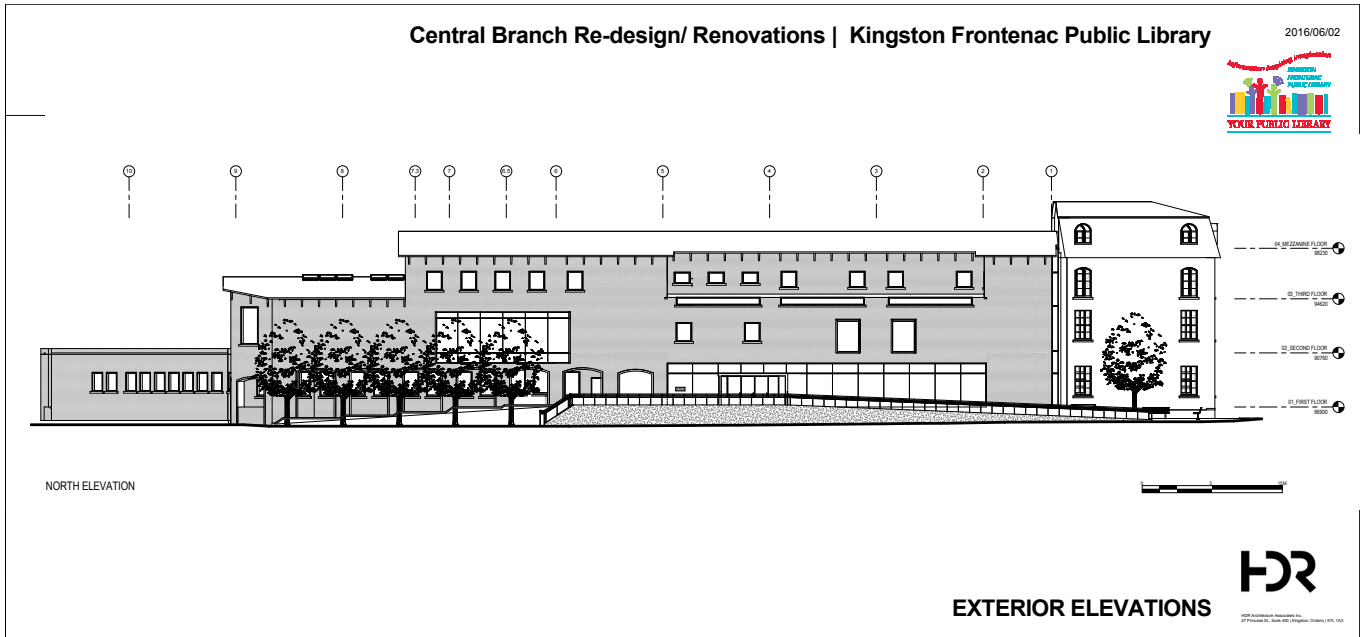
According to the City's project manager for the renovation (Robert Crothers), the scope of work for the exterior of the Parish House includes:

- Minor repairs to the Period Windows and the front door surround on Bagot Street. These include removing flaking and painted paint from the window frames, trim, and sashes as well as from the door panels and trim. All painted surfaces will be sanded, primed and re-painted in the same colour as the existing. Any decayed wood will be removed and replaced with new wood in identical profiles to the removed members. Glazing that is cracked or loose will be replaced and joints re-caulked. All work will be undertaken in accordance with the City's Policy on Window Restoration on Heritage Buildings.
- Minor repairs to existing limestone masonry in places where the blocks and lintel header stones have shifted or cracked. Several limestone window sills are also cracked and split: they will be repaired to prevent water infiltration. Mortar joints will be repointed where necessary. This work will be done in accordance with the City's Policy on Masonry Restoration on Heritage Buildings.

The scope of work for the 1978 addition involved interior and exterior alterations including:

- Upgrades to the mechanical and electrical systems in accordance with the recommendations of a building Assessment Report (2013).
- Rehabilitation for new and revised library functions in response to changed patterns of public use, new technologies and new library programs.

- These changes will require alterations to the building exterior, as follows:
  - Relocation of the main entrance farther up Johnson Street towards Bagot Street, to improve internal circulation and space allocation;
  - Removal of the arched window openings on the Bagot Street side of the current entrance and their replacement by a large glazed bay window;
  - Removal and replacement of the second storey oriel windows and their replacement with rectangular glazed bay windows; and
  - Replacement of the existing wooden window units.

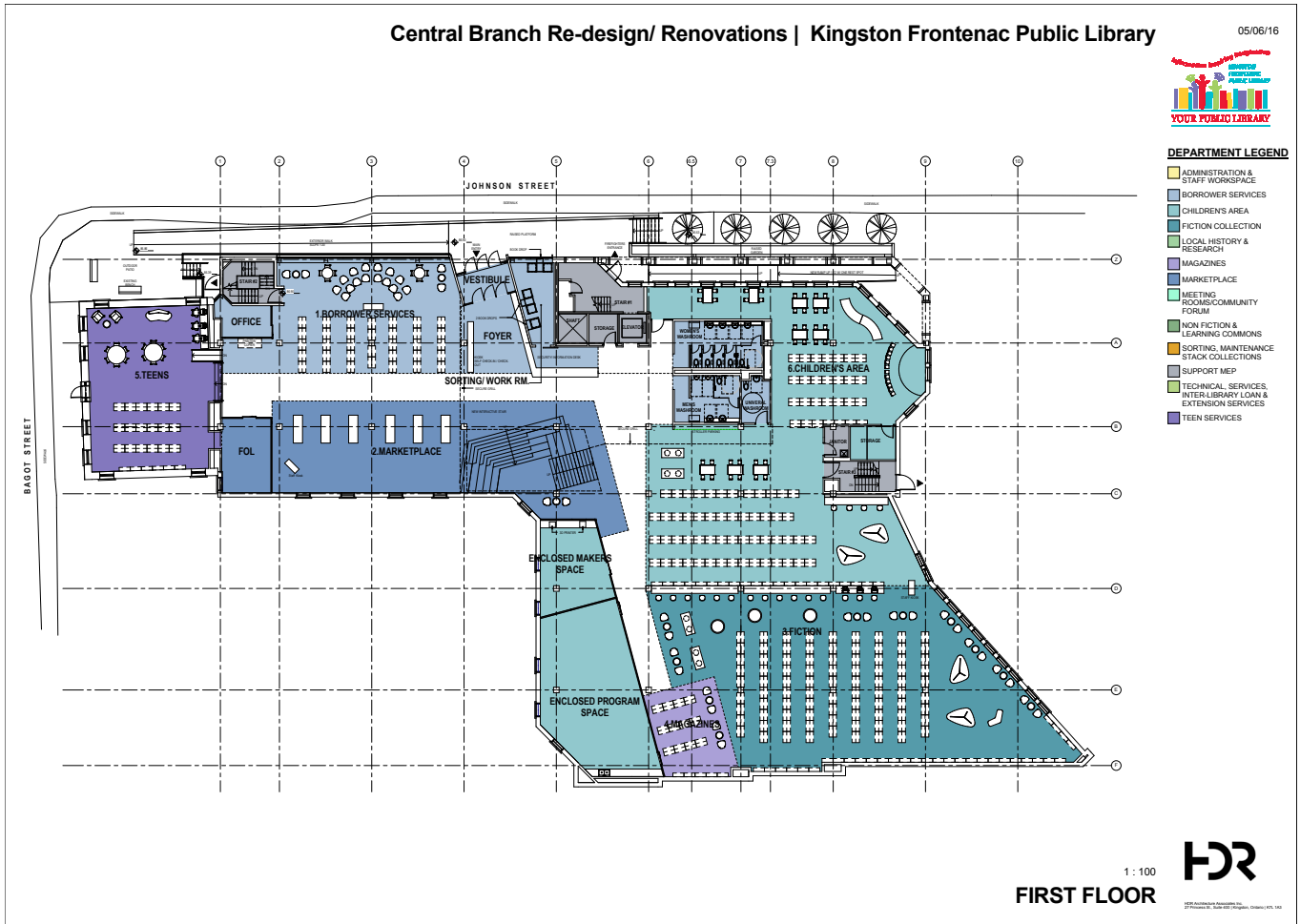


*Proposed façade elevation*



*Proposed façade from the north (note: the oriel windows shown over the new entrance have been deleted in the updated design)*





Proposed first floor plan

## 5.2 General Conservation Principles

Approaches to conservation principles or “interventions” as applied to buildings and settings that have potential or confirmed heritage value are covered by Provincial and federal guidelines. For the purposes of this report, the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) will be used as the benchmark (Provincial guidelines in the *Ontario Heritage Tool Kit* are harmonized with the federal guidelines). The City of Kingston has adopted the federal guidelines as the basis for heritage conservation policies in the Official Plan (section 7.1.6).

*Standards and Guidelines for the Conservation of Historic Places in Canada* (the “Standards”) provides an overview to the conservation decision-making process, conservation treatments, standards for appropriate conservation, and guidelines for conservation. In the context of the Standards, conservation is broadly defined:

- Conservation: all actions or processes that are aimed at safeguarding the character-defining elements of an historic place so as to retain its heritage value and extend its physical life. This may involve preservation, rehabilitation, restoration, or a combination of these actions or processes;
- Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value;
- Rehabilitation: the actions or processes of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value; and,
- Restoration: the action or process of accurately revealing, recovering, or representing the state of an historic place, or of an individual component, as it appeared at the particular period in its history, while protecting its heritage value (Parks Canada 2010).

In addition to these federal conservation principles and practices, the City of Kingston also makes reference to Provincial conservation principles. The Ministry of Tourism, Culture and Sport's Eight Guiding Principles in the Conservation of Built Heritage Properties (2008) are used as a tool to help guide change to cultural heritage resources:

- 1) Respect for documentary evidence: Do not restore based on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings, or physical evidence;
- 2) Respect for the original location: Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes the cultural heritage value considerably;
- 3) Respect for historic materials: Repair/conservate rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource;
- 4) Respect for original fabric: Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity;
- 5) Respect for the building's history: Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period;
- 6) Reversibility: Alteration should be able to be returned to original conditions. This conserves earlier building design and technique, e.g. when a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration;
- 7) Legibility: New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new; and,
- 8) Maintenance: With continuous care, future restoration work will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

### 5.3 Proposed Conservation and Development Approach

In addition to having regard for the foregoing heritage policies and guidelines, the proposed interventions in the fabric of the library buildings must be assessed specifically in the context of the 1970s Part IV designation by-law and the 2015 Part V Heritage Conservation District Plan. The needs of the library for upgrades to the existing building must be balanced by conservation of the heritage attributes of the property and the District.

Using the terminology from the *Standards*, the proposed conservation approach for the Parish House is to *preserve* the exterior, repairing deterioration or damage to windows, the entrance and wall materials, as needed. The interior will continue to be *rehabilitated* for the adaptive re-use as a library. The 1978 will be *rehabilitated* to accommodate changes necessitated by the evolving requirements of the library.

### 5.4 Impact on Identified Cultural Heritage Resources (On Site)

There will be no negative impact on the Parish House of the proposed interventions.

Impacts on the exterior of the 1978 addition will be somewhat extensive on the ground floor and minor on the second and third floors. The retention of the arcade and re-grading of the ramp (note: this change in slope angle will not be visible from the street and will be contained within the envelope of the existing arcade) will conserve that element of the original design. Replacement of the entrance and ground floor fenestration will alter those elements of the original design. The oriels on the second floor will be modified to incorporate more glazing. All window units will be replaced with upgraded units.

Note from the original architect's design intent in the pamphlets cited above that the interior room shapes and sizes dictated exterior fenestration, not any pre-determined aesthetic for the exterior. A similar pragmatic approach informed the design of the arcade, intended as a sheltered link between the parking lot and the main entrance.

The effects of these interventions on the 1978 are mitigated as follows:

- The oriels will be in the same location and have approximately the same size as the existing. Interventions in the three existing oriels could also be approached in future as “reversible interventions” by restoring the existing massing and fenestration.
- Removal and replacement of the shallow-arched fenestration pattern on the north side of the existing entrance can be mitigated if the existing shallow-arched support beam (to be removed for structural and visibility reasons) can be interpreted (for example, through lighting or artwork that traces its outline) within the proposed relocated entrance and glazed bay.

## 5.5 Impact on Identified Cultural Heritage Resources (Adjacent)

The project is also located adjacent to five Section 29, Part IV *Ontario Heritage Act* designated properties. Figure 2 shows the location of these properties.



Figure 2: Adjacent Section 29, Part IV Ontario Heritage Act Designated properties

The following table provides a photo, civic address, and Statement of Cultural Heritage Value or Interest for each property.

**TABLE 1**




Photo	Address	Statement of Cultural Heritage Value or Interest (from OHA By-laws quoted verbatim)
	<p>113 Johnson St</p>	<p>This small, low-set, stone dwelling built about 1841, is typical of the sturdy and unadorned buildings which have been enlarged and improved over the years from 1854 through the 1940's.</p>
	<p>119-121 Johnson St.</p>	<p>In 1882 architect Robert Gage designed this building for the Baptist congregation. The ornamental facade rises high to hide the gable roof, giving the effect of a "boom-town" front. Recent additions have been designed to complement the original building.</p>
	<p>118 Wellington St.</p>	<p>This double stone house was built in 1867-1868 by and, for George Newlands, builder and father of William Newlands, who received some of his training in John Power's firm.</p>

Photo	Address	Statement of Cultural Heritage Value or Interest (from OHA By-laws quoted verbatim)
	<p>120 Wellington St.</p>	<p>This double stone house was built in 1867-1868 by and, for George Newlands, builder and father of William Newlands, who received some of his training in John Power's firm.</p>
	<p>126 Wellington St.</p>	<p>This remarkable Gothic church was designed by John Power for the Congregationalists in 1864. In 1891 fire damaged the interior of the church and the building was restored and enlarged with transepts to plans by J.B. Reid, superintended by Arthur Ellis. In 1923 the Masonic Lodge bought the property.</p>

Drawing upon the Ministry of Tourism, Culture, and Sport's list of identified negative impacts, as outlined in the Ontario Heritage Tool Kit, the following chart was prepared to consider the potential impact on the adjacent heritage properties, protected both under Section 29, Part IV and Part V. It also considers the cultural heritage resources on site.

**TABLE 2: ASSESSMENT OF POTENTIAL NEGATIVE IMPACTS**

Impact	Assessment
<p>Destruction of any, or part of any, significant heritage attribute or features</p>	<p>The proposed project is not identified as resulting in the destruction of any heritage attributes of adjacent properties, the district, and on the heritage attributes of the subject property. It is identified as having an impact on some of the attributes of the 1978 Library Additions; however, these have not been formally identified by the City to be of cultural heritage value or interest. Nonetheless, it was deemed prudent as part of the due diligence undertaken as for this report to identify them and consider potential mitigation options (See Section 4.5 for discussion). The project is not identified as having an impact on the 5 adjacent Part IV Section 29 OHA designated properties or on any other adjacent Part V protected property. It is recommended that a 'Temporary Protection Plan' (TPP) should be developed for ensuring that any onsite and adjacent cultural heritage resource is conserved as part of the construction planning for the project. An example of a Terms of Reference for a TPP has been provided as Appendix 3. The plan should, at a minimum, outline the following information:</p> <ul style="list-style-type: none"> <li>• How the use of hoarding and/ or a minimum setback will be established between any construction equipment/storage/staging and the property line with other designated properties.</li> <li>• If scaffolding will be used near the Parish House or any adjacent properties, what protective measures will be specified and/or undertaken to ensure that the scaffold will be positioned so as to mitigate against the possibility of damage to the heritage attributes.</li> <li>• If there will be possibility of hoisting new materials or heavy equipment, how this will be done to mitigate against the possibility of damage to the heritage attributes.</li> <li>• If the project will involve the removal of load bearing walls, how the walls will be stabilized to ensure against the possibility of collapse and the possibility of damage to the heritage attributes.</li> <li>• As there are risks at any construction site from concentrations of dust, vibration and fire hazards, the plan must describe what protective measures will be specified and/or undertaken to ensure that construction will be will mitigate against the possibility of damage to the heritage attributes.</li> <li>• How debris originating at the construction site will be managed to ensure that it will not find its way to the gutters, downspouts and drains of the adjacent heritage properties or on the subject property,</li> <li>• How security on site will be maintained to ensure there is not access except by authorized persons</li> </ul> <p>It is that also recommended that any construction contractors be obligated to maintain sufficient insurance to cover any damage to any heritage attributes or resources.</p>



Impact	Assessment
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.	The proposed project is not identified as resulting in an alteration that is not sympathetic (or is incompatible), with the historic fabric and appearance of any adjacent heritage properties or the district.
Shadows created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden.	There will be no shadows created from the proposed project.
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.	The project will not result in the isolation of any adjacent heritage properties.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.	This proposal does not obstruct any significant views or vistas.
A change in land use (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value.	N/A – the property will be in the same use following the project.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affects a cultural heritage resource, including archaeological resources.	The property is located within an ASA. If any soil disturbance is proposed, an archaeological assessment should be requested by the City.

The conclusion from this assessment is that there are no expected negative impacts on the identified heritage attributes for any adjacent individually designated properties. As part of this project, it is recommended that a Temporary Protection Plan should be developed for the project.

It is also recommend that following the completion of construction activities, municipal heritage staff should be notified and inspect the property to ensure no unanticipated adverse impacts on the cultural heritage values or attributes of the subject property or the adjacent heritage properties have occurred.

The City of Kingston appears to have removed any human remains from the former church cemetery on and adjacent to the property as part of the construction activity in 1975-78. However, with regard to the potential for human remains, it appears from the design drawings for the proposed retrofit that there will be no disturbance of ground to the rear of the subject buildings and thus it is anticipated that there would be no impact on areas of archaeological potential.

## 5.6 Impact on the Heritage Attributes of the Old Sydenham Heritage Conservation District

The location of the proposed project is within the Old Sydenham Heritage Conservation District (HCD). While there are no specific heritage attributes ascribed to this property in the HCD Plan, the goals, and objectives of the Plan should be addressed, and the policies and guidelines adhered to. These components of the Plan are described in Section 4.7, above. Based on those descriptions, the following is a summary of impact based on the review of the Plan as a result of the proposed development:

- The heritage attribute of association with two of “Kingston’s best architects” will be affected to the extent that there will be some changes to the original design of the exterior of the 1978 addition (which is not described in the Part IV designating by-law).
- The conservation approach and methods proposed address the policies for heritage buildings.
- The approval process will require a heritage permit for the major alterations, to be administered by City heritage staff.
- Guidelines for conservation of building fabric will be followed, including the City’s policies for heritage windows and masonry.

In summary, impact on library, based on the HCD Plan, will be minor as long as the heritage permit process is followed.

## 5.7 Design Rationale for the Proposed Interventions

The proposed work on the Parish house is minor, and is in keeping with heritage conservation best practices. As a result, no additional optional approaches were considered.

The changes in the 1978 addition will result in the removal of some elements of the building that reflect the original design intent. These have not been formally identified as heritage attributes. However, as part of this report, alternatives to existing project were considered, including the retention of the arcade and the ground floor fenestration pattern as well as retention of the second floor oriel design.

These changes to the building as a whole, and to the addition in particular, are driven by the evolving nature of libraries in their expanding role as centres of community activity and as a place of refuge for some of the more vulnerable members of the community. Major changes to the interior will shift the childrens' library to the main floor, redesign the central staircase, improve interior security by removing blind spots and partitioning space to enhance after hours use. For the exterior, the library has stated its need for greater visual transparency to make the library more welcoming and to reveal activities inside. This involves adding more glazing to the ground and second floor façade and removal of the shallow-arched window opening as well as modification of the angled massing of the second storey oriel windows. Access is another issue requiring improvements that involve moving the front entrance to a more central location, re-grading the access ramp in the arcade and revising the exterior landscape.

## 6. Conclusions and Recommendations

The proposed interventions will have no negative impact on the identified heritage attributes of the Parish House (Bishop's House) portion of the library complex. They will, however, result in changes to a few of the main elements of the façade of the 1978 addition. Thus there will be no negative impact in terms of the Part IV property designation and some minor impact in terms of the Part V Heritage Conservation District designation. These latter impacts are mitigated by design responses and by reversible interventions.

A Temporary Protection Plan (TPP) is recommended for this project to help ensure the conservation of the cultural heritage values and heritage attributes of this property as well as of any adjacent properties.

As a general recommendation, prior to any interventions, and in accordance with the documentation requirements of the City's Official Plan, the existing building should be photo-documented in detail. This would include existing interiors and exteriors and include detailed images of the elements proposed to be removed.

It is also recommended that the City revisit the Section 29, Part IV OHA designation for this property to ensure consistency with current Ontario Heritage Act requirements.

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# Appendices

1. Chronology of Site Development
  2. Designation by-law
  3. Sample Temporary Protection Plan
  4. Architect's design pamphlets
  5. CVs
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# 1. Chronology of Site Development

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# CHRONOLOGY of the KINGSTON FRONTENAC PUBLIC LIBRARY

130 JOHNSON STREET

by Jennifer McKendry PhD

6 April 2016


[mckendry@kos.net](mailto:mckendry@kos.net)





2010



Text and drawing from the booklet distributed at the official opening, 22 April 1978

<b>CHRONOLOGY</b>		
YEAR	EVENT	SOURCE
<b>EVENTS PREVIOUS TO BUILDING THE LIBRARY</b> <b>at 130 JOHNSON STREET ("The Study Area")</b>		
1673-1758	<p>The French regime in this area, dominated by the presence of Fort Frontenac. Civilian buildings may exist in the vicinity of the Study Area. The land is cleared for firewood, building, farming, houses sites and clear visibility for defensive reasons.</p> <div style="text-align: center;">  </div> <p>A is Fort Frontenac), C French houses and D an Iroquois village in this 1682 detail of a map showing the area cleared by the French. The rectangles with parallel lines are gardens. B is the Récollet chapel east of today's Kingston General Hospital.</p>	NMC 6410

<p>1758-1783</p>	<p>After the British conquest of French Fort Frontenac in 1758, the general area sees little activity and settlement. Second-growth trees are springing up.</p>  <p>Ruins of the French fort portrayed by James Peachy in June 1783</p>	<p>NAC C-2031</p>
<p>1783-1784</p>	<p>The town site is surveyed and Loyalists, displaced because of the American Revolutionary War, are granted town and farm lots in compensation for their losses to the enemy. The first surviving town plan shows only the blocks from Barrack to Brock and Ontario to King Streets, that is, the area closest to Fort Frontenac, which could afford protection in case of attack.</p>  <p>A typical block is laid out in 10 lots, each 66 x 132 feet. The early blocks align with the waterfront and flank a 3-block long triangle, in which buildings and functions important to the town's economic, religious and military life are located, such as the lower part of the triangle as the site of the market (and in 1843 the city hall) with the neighbouring shoreline reserved for fortifications (in 1846, the market battery). In the middle of the triangle -- and fronting King Street East -- is St George's church, the "Established" church.* The Study Area, located only a block from the apex of the triangle (Clarence Street is the triangle's west boundary at the time), has, therefore, a long established history in the oldest part of Kingston.</p> <p>*a new site, where St George's Cathedral is located today, is selected in the early 1820s.</p>	<p>NMC 11375</p> <p>LAC C1511 - August 1783, detail of Peachey painting showing the fort as rebuilt by the British</p> <p>"oldest" referring to the British regime post 1758</p>

1790s

On the other side of Bagot Street (previously known as Rear Street) are the large acreages of Sir John Johnson and Anne Earl, who are children of Sir William Johnson.

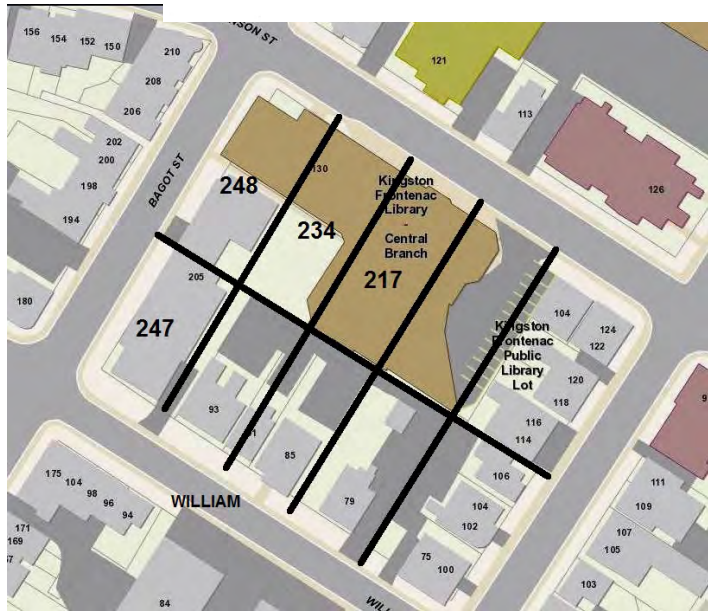
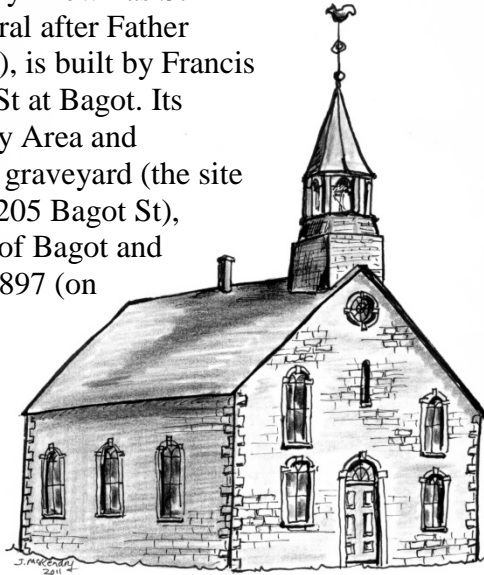


No buildings are shown in the block containing the Study Area.

See Jennifer McKendry, "Unraveling the Histories of the Sir John Johnson House and the Parish House" *Historic Kingston* 60 (2012):52-66. The Parish House is also known as "The Bishop's House" (now part of the library and incorrectly dated as 1812)

copy of Aitkins c1797 map Ontario Archives I0050791

1804	Alexander McDonell (or Macdonell, 1762-1840), a Catholic priest, leaves Scotland for Glengarry County, Upper Canada. He will play an important role in Kingston as Bishop from 1826 to 1840. See also the entry for 1811.	
1806	The Crown grants Donald McDonell town lots 247 and 248, which are in trust for the Catholic church and will become the sites of St Joseph's Church and a graveyard in 1808 and the Parish House (part of the Study Area) in 1822. See entry for 1808.	
1808	<p>“The French Church,” more formally known as St Joseph’s Catholic Church (a cathedral after Father McDonell becomes Bishop in 1826), is built by Francis Xavier Rochleau fronting William St at Bagot. Its history is closely linked to the Study Area and Catholicism because of its adjacent graveyard (the site of the Seniors Complex of 1976 at 205 Bagot St), Parish House of 1822 at the corner of Bagot and Johnson, Notre Dame Convent of 1897 (on the site of the 1978 library) and St Vincent’s School of 1892 (on the corner of Bagot and William). All of the frontage along Bagot between William and Johnson and that along Johnson as far as 104 Johnson are historically linked. Town lots 247, 248, 234 and 217 are connected with Bishop McDonell.</p>	<p>conjectural drawing of St Joseph’s by J. McKendry</p> <p>demolished 1891</p>
1811	Father McDonell (see entry for 1804) buys Sir John Johnson’s house (see entry for the 1790s), which results in some confusion in recent times about the date of the old stone portion of the Kingston Frontenac Public Library.	McKendry, “Sir John Johnson House and



<p>1811 con't</p>	<p>The trials and tribulations of early efforts to establish a Kingston Library include the potential loss of books ordered from England during sea voyages.</p>	<p>the Parish House.”</p> <p><i>Kingston Gazette</i> 23 April</p>
<p>1812</p>	<p>The War of 1812, during which St Joseph’s Church at the corner of Bagot and William Streets is in use as a military hospital.</p>	
<p>1815</p>	<p>A Friend to Education &amp; Economy -- namely Stephen Miles, editor of the <i>Kingston Gazette</i> -- sees his circulating library as an opportunity for all classes of society. He hopes no-one will be ashamed to exchange rags (needed to make paper) for books, especially children’s books.</p>	<p><i>Kingston Gazette</i> 1 August</p>

COMMUNICATIONS.

Mr. Editor—*The Trustees of the Library request that you would insert in your next Gazette the following note.*

It will doubtless be highly gratifying to the proprietors of the KINGSTON LIBRARY and to the subscribers at large to be informed, that the valuable collection of Books ordered for the last year, and which were supposed to be lost, are safe, and may be expected early in the summer. They were shipped at London in the month of July last; but the vessel was most unfortunate in her passage, and so long out that she was given up for lost. It appears, however, that she reached Gaspé, in the Gulph of the St. Lawrence, where she was obliged to winter.

While on this subject, it is but just that the public should know that we are indebted for a large part of these books to the liberality of Mr. JOHN KIRBY of this place, who gave up for the benefit of this institution the sum of sixty-five pounds, being his share of fines levied from plunderers of timber, whom he was the means of prosecuting to conviction.

*The Public*

Are respectfully informed that a small circulating library is opened at this office, and made accessible to all classes of the community, on the most reasonable terms.

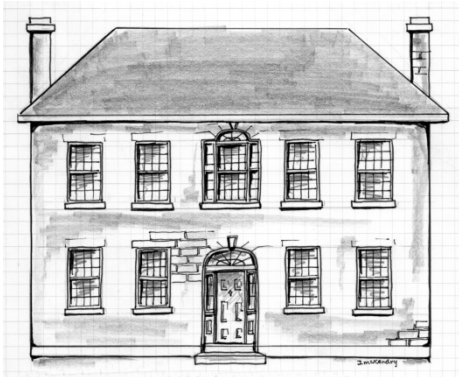
Those who wish to take out books will please to call either on Monday, Thursday or Saturday, between the hours of one and three o'clock. At which times due attention will be paid to all who may be disposed to become subscribers.

There is also left at this office, a large number, and a considerable variety, of children's books and useful tracts, to be exchanged either for cash or clean rags.

Rags enough might be saved in every family to furnish the family with Books and Stationary. And it is hoped, that no person will be ashamed to engage in saving an article so much needed.

**A Friend to Education & Economy**  
*Kingston, August 1, 1815.*

<p>1816</p>	<p>The Kingston Library is now located in the Court House, which is at the corner of King St East and Clarence St (today the site of the Customs House). The hours are 11AM to 1PM on Mondays. One must pay an annual fee of 30 shillings plus a deposit of £5 against the loss of books. The perennial requirement of being subject to the rules of the library is noted.</p>	<p><i>Kingston Gazette</i> 3 February</p>
<p>1819</p>	<p>A new Common Burial Ground of 2½ acres at Ordnance, Balaclava and Alma Streets (today’s McBurney Park) is granted to the Anglicans (Church of England or Episcopal) and Roman Catholics - they divide the existing Garrison Burial Ground between them (the Anglicans 1.5 acres and the Catholics 0.9 ac.). This becomes the Upper Burial Grounds and takes over the function of the graveyard immediately adjacent to St Joseph’s Roman Catholic church (see 1808) on Bagot Street at William St. In 1825, Presbyterians gain a portion of the new graveyard, which becomes a public park in 1893 after many years of being closed for burials.</p>	<p>“Chronology of McBurney Park” by J. McKendry for Bray Heritage, 2004</p>
<p><b>1822</b></p>	<p>Reverend William Fraser builds the Parish House ( in recent times, known as the “Bishop’s House”) in the spring and summer of 1822. This is the stone building at the corner of Bagot and Johnson, part of <b>the Study Area</b>. The pastor and parishioners have been pressuring Reverend Macdonell to approve of a Presbytery to be built "on a contiguous situation to the church." This church is St. Joseph's, contracted to be erected in 1808 by Francis Xavier Rochleau on the corner of William and Bagot Streets (town lot 247). After some negotiations with Macdonell, lot 248, the logical site on Bagot Street at Johnson, is selected for the new priests’ house. It has been held in trust for the church since the crown grant and is immediately adjacent to the church and graveyard. Maps, church records and Macdonell's correspondence confirm the building date, function and title of the "Parish House." In May 1822, Fraser is arranging for supplies of building stone and, by mid July, Macdonell is congratulating him on “getting on so well with your house.” However, it is not yet in a livable state in December. The style is Neoclassical, and Archibald Fraser is the architect (an attribution by Jennifer McKendry).</p> <p>The lower two storeys of this structure survive, although the interior woodwork has been removed to other locations. In 1877, the hipped roof and balancing stone chimneys are removed and a third stone storey with</p>	<p>Macdonell to McCunliffe, 13 April 1822, archives, St Mary’s Cathedral – see McKendry article on the Johnson House and the Parish House</p> <p>The original roof still exists in the Brosius bird's-eye view of 1875 but a cupola has been added signifying</p>



Conjectural drawing by J. McKendry

**1822**  
con't

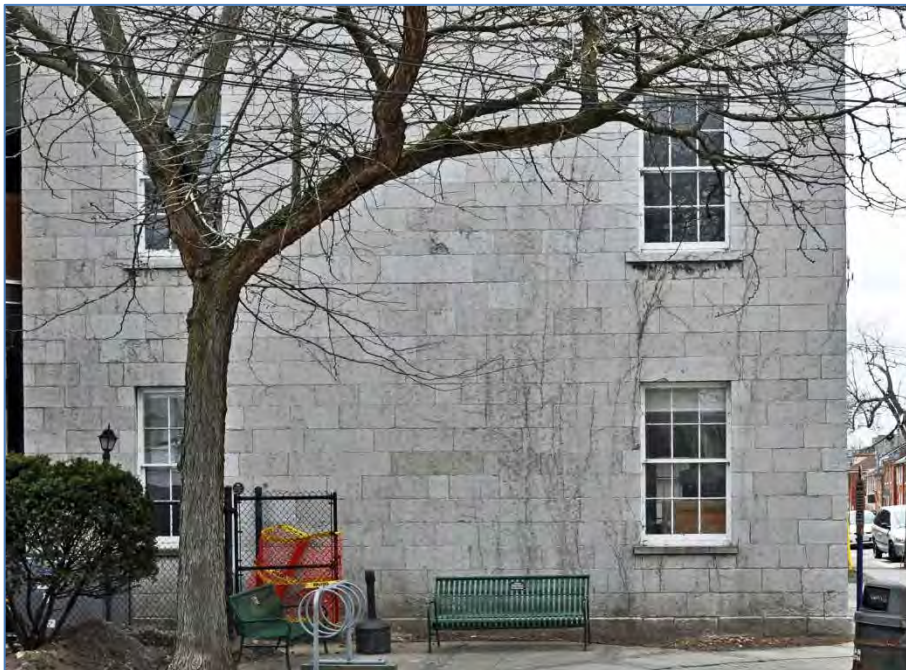
mansard roof added. The doorway sidelights have been Gothicized and a classical wooden surround added at some later stage in the house's history.

its use as a  
convent  
and school.





Bagot St  
photo J.  
McKendry  
2012


The 1822 portions of the Parish House

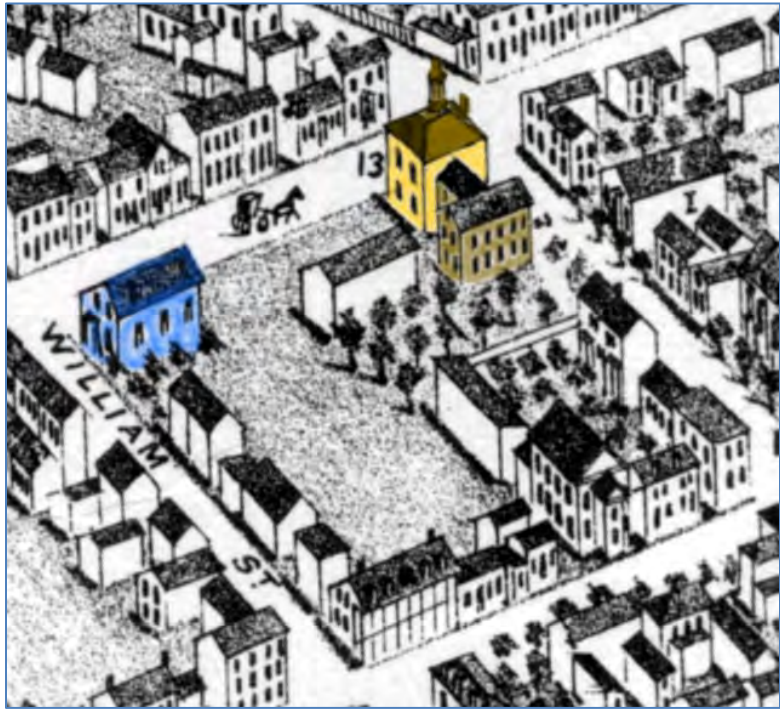


Johnson St  
photo J.  
McKendry  
2016



<p>1826</p>	<p>1826 Reverend Alexander McDonell becomes Bishop of the newly created diocese of Kingston. Although built as a Parish House for priests, when the Bishop arrives for a stay, the old part of the Study Area is the Bishop's House. This function will cease once the Bishop's Palace is built on Johnson Street next to St Mary's Cathedral in 1849-1852.</p>		<p>Library &amp; Archives Canada</p>
<p>1834</p>	<p>The Mechanics Institute opens as a library. Donations by gentlemen of books and curios aid in raising the educational and skill levels of the adult working class.</p> <p style="text-align: center;"><i>Mechanics Institute of Kingston ~ Labore et Scientia</i></p>		<p><i>British Whig</i>, 6 June</p> <p>marble plaque c1834 coll. Kingston Frontenac Public Library; photo by J. McKendry 2016</p>
<p>1837-1838</p>	<p>The Rebellions of Upper Canada and Lower Canada</p>		
<p>1840</p>	<p>Bishop McDonell dies in January while on a visit to Scotland. He is buried in the crypt of St Mary's Cathedral.</p> <p>In April, a devastating fire destroys many buildings on both sides of</p>		

1840 con't	Ontario Street from Johnson to Princess Streets. All the buildings on Market Square are wiped out.	
1841- 1844	Kingston becomes the capital of the United Province of Upper Canada & Lower Canada.  Sisters of Notre Dame Congregation in Montreal arrive in Kingston and begin to teach in rented quarters. See also the entry for 1846.	
1843- 1844	Kingston City Hall & Market are built on Market Square.  the original appearance of City Hall before the fire of 1865    The cornerstone of St Mary's Cathedral is laid. Once in use, it will make St Joseph's redundant as a church, and it is converted into a school in 1859 (and demolished in 1891).	Jennifer McKendry, "Illustrated Chronology of Kingston City Hall National Historic Site." for the City of Kingston, 6 Jan. 2010  sketch by Harriet Cartwright, 1844, coll. Fort Henry
1846	The Market Battery and Shoal Tower are built as part of a defensive system to protect the town and new town hall against any American aggression. The tower survives but the battery is demolished in 1872.  Kingston is incorporated as a city with John Counter as the first mayor.  The sisters of the Congregation of Notre Dame, a teaching order, move into the Parish House (part of the Study Area).	
1848	The Kingston Gas Light Company is founded to manufacture fuel for street and building lights.	<i>Chronicle &amp; News</i> , 5 Jan. 1848
1849	The Bishop's Palace is built next to St Mary's Cathedral.	
1850	Farm lot 24 (west of City Park) becomes part of the city.	
1851	Population: 11,585	
1856	Kingston is connected with Montreal and Toronto via the Grand Trunk	Gordon

	Railway. The railway station (the Outer Station on Montreal St) and line are built in 1856 two miles from the heart of the city. A branch line for hauling freight into the city proper is opened 2 November 1860.	Smithson, <i>At the Bend in the Road Kingston</i> (Kingston: by the author: 2000) 11-45
1865	The market wing of City Hall burns and is replaced with the shorter version still standing today.	
1867	Canada's Confederation	
1870	British troops are withdrawn from Kingston.	
1875	<p>Brosius's bird's-eye view of Kingston is published from sketches made in the summer of 1874.</p>  <p>In yellow is the old Parish House, now topped with a cupola and with an extension along Johnson St (replaced in 1897). In blue is old St Joseph's church now in use as a school (demolished in 1891). The church spire has been removed.</p>	
1876	The new Royal Military College is in use on Point Frederick.	
1877	The original hipped roof and balancing stone chimneys of the Parish House (see 1822) are removed and a third stone storey with mansard roof added.	
1878	Population: 14,078	city directory

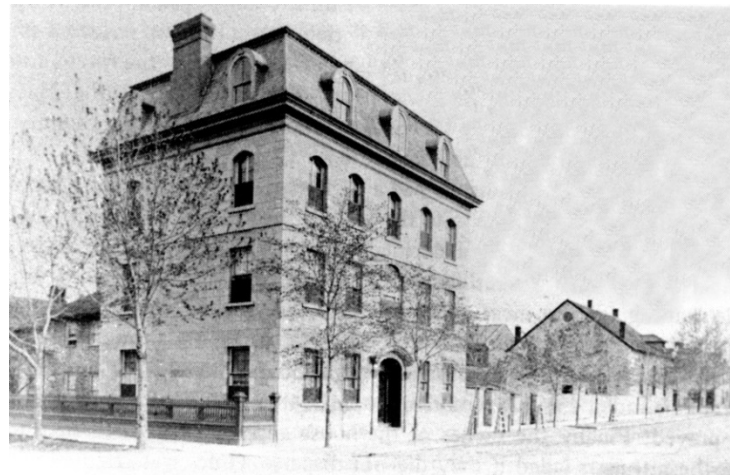
late  
19<sup>th</sup>  
century

The old  
Parish House  
(in use as  
Notre Dame  
convent)  
fronting  
Bagot St and  
looking  
towards  
Johnson St



undated  
photo in the  
Powell  
album,  
Queen's  
University  
Archives

From  
Johnson St  
looking along  
Bagot to  
William,  
where the old  
St Joseph's  
church is in  
use as a school  
– the photo  
predates 1891  
when the  
church/school  
is demolished.






L.J. Flynn,  
*At School  
in Kingston,  
1850-1973*  
(Kingston,  
1973): 35.

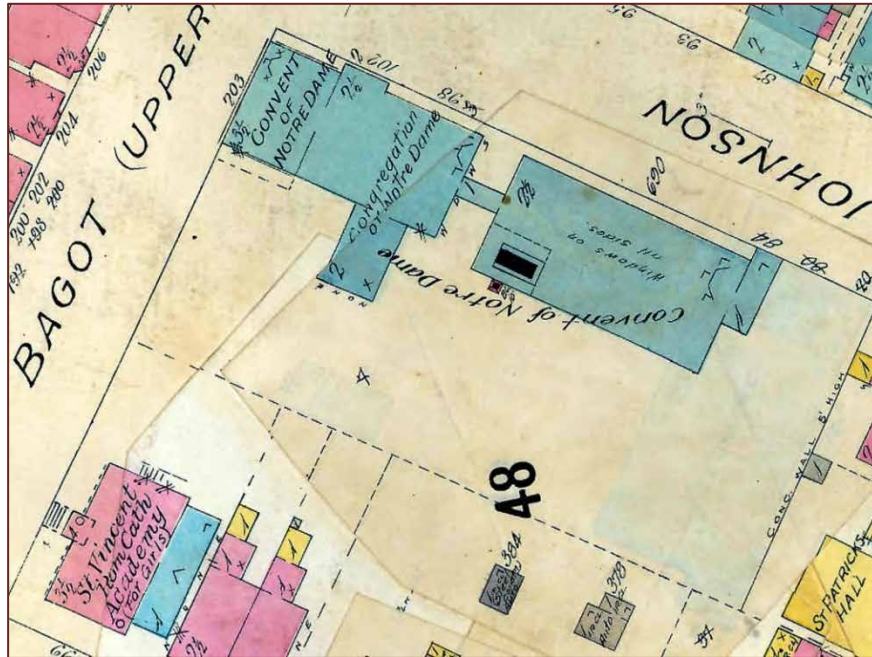


undated  
postcard,  
coll. J.  
McKendry

Chapel in Notre Dame convent, likely in the stone extensions along  
Johnson St (see 1897 and 1911-12)

<p>1892</p>	<p>St Vincent's School is built on the site of St Joseph's church (see 1808) at Bagot and William. Also known as St Vincent's Academy for girls.</p>		<p>Flynn, <i>At School in Kingston</i>, 77</p>
<p>1897</p>	<p>The sisters of the Notre Dame convent expand their premises in the old Parish House along Johnson Street (now the site of the Study Area). The architect is Henry P. Smith, who also adds another portion c1911. These stone extensions will be demolished in 1972. See also 1911-12.</p>	 <p style="text-align: center;"><i>Notre Dame Academy, Kingston, Ont.</i></p> 	<p><i>Contract Record</i> (1897) 10 #8 p.154</p> <p>postcard cancelled in 1909, coll. J. McKendry</p> <p>fire insurance plan 1892 with amendments to 1904, coll. J. McKendry</p>
<p>1911-1912</p>	<p>The stone convent is now extended further along Johnson St and the property includes land up to 104 Johnson St.</p>		

1911-  
1912  
con't




fire  
insurance  
plan 1908  
with  
amend-  
ments to  
1911

St Vincent Roman Catholic Academy for Girls is shown in brick (pink) fronting Bagot St at William, while the convent on Johnson is shown in blue representing stone.




photo by  
Ron  
Hazelgrove  
1960s,  
Queen's  
University  
Archives  
#384

Notre Dame Convent (demolished in 1972), 130 Johnson St, with the old Parish House on the extreme right

<p>1925</p>	<p>Since at least c1910, the main public library has been in 220 Bagot St and Johnson (demolished), while the children’s library is now in the building (1901, architect Henry P. Smith) at 240 Bagot and Brock. But by 1947 both functions are found in the latter building, from which the library will move to 130 Johnson St in 1978.</p>		<p>fire insurance plans, 1908, 1924, 1947</p> <p>photo of 240 Bagot by J. McKendry</p>
<p>1951</p>	<p>St Vincent’s school is closed and demolished. See also the entry for 1892.</p>	<p>Flynn, <i>At School in Kingston</i></p>	
<p>1959</p>	<p>As the population grows and moves into new suburbs, branch libraries are created such as Kingscourt in 1959 and Calvin Park in 1966.</p>		
<p>1967</p>	<p>Canada’s Centennial</p>		

**ERA AFTER THE LIBRARY IS BUILT AT 130 JOHNSON ST**

<p>1969</p>	<p>Notre Dame convent is closed and the property put up for sale.</p>	
<p>1972</p>	<p>Notre Dame Convent is demolished along Johnson St. The intent is to take down the old Parish House as well but demolition is halted leaving the stone walls still standing after persons interested in its preservation intervene – in particular mayor E. Valorie Swain and alderman George</p> 	<p><i>Kingston Whig-Standard</i>, McKendry Column, 2 August. E. Valorie Swain, “The Bishop’s House Saved.” <i>Historic Kingston</i> 27 (1979): 2-4. Johnson St towards Bagot St; the tallest portion still standing is the old Parish House.</p>

1972  
con't

Vosper. The city now owns a shell of a building with no roof, no interior fittings and no window glazing. Some of the interior woodwork is salvaged.

Photo by J.  
McKendry  
Nov. 1972



photo by J.  
McKendry  
Nov. 1972

The rear wall of the old Parish House showing how it joined to the addition of 1897



1972  
con't

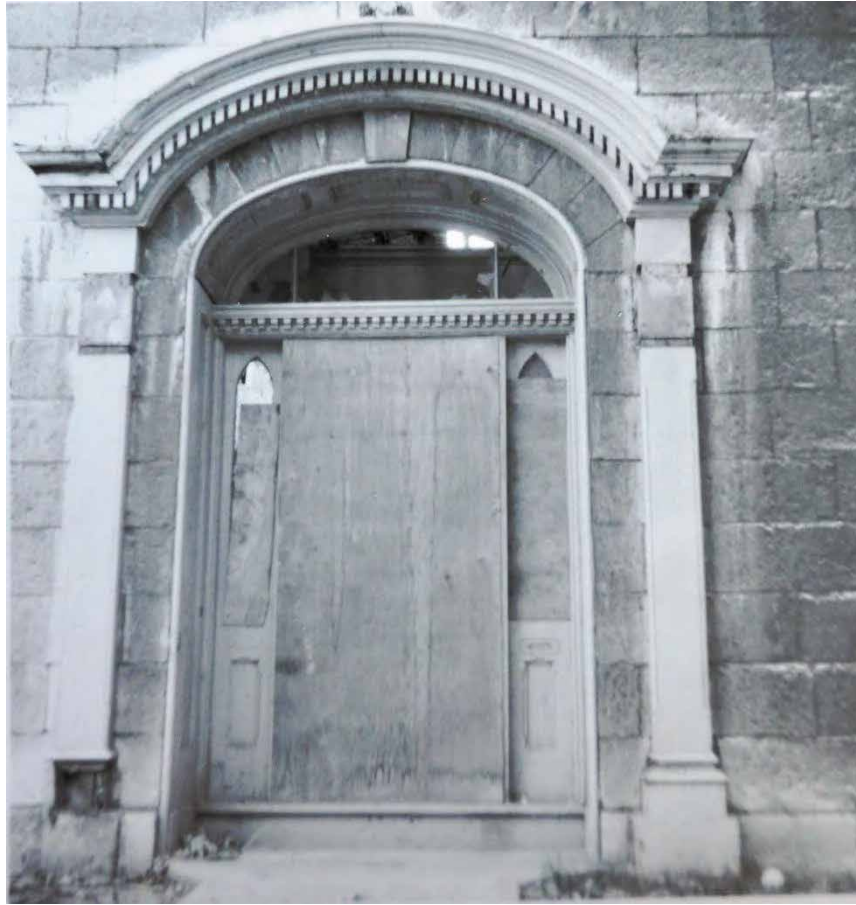




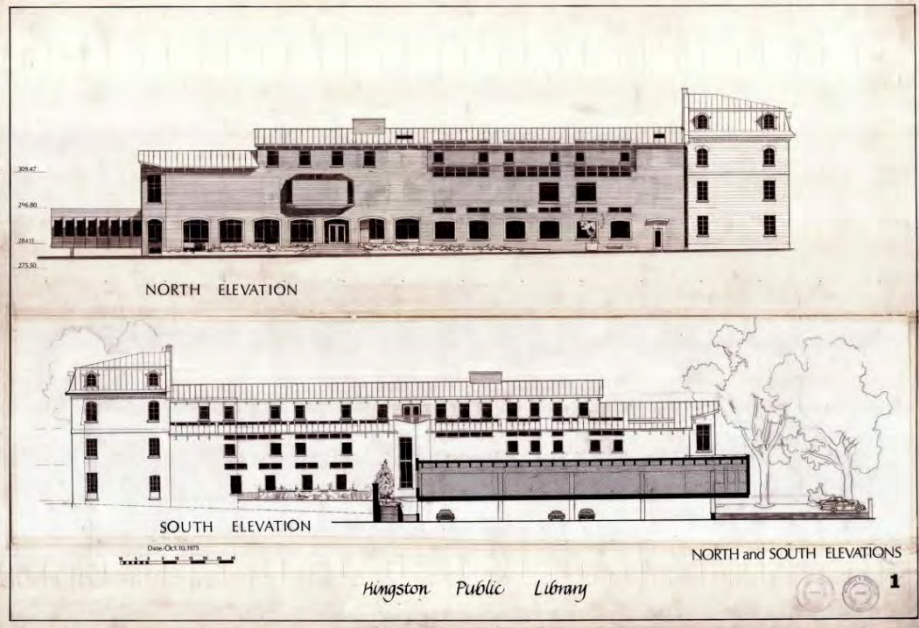
photo by J.  
McKendry  
Oct. 1972

Doorway of the old Parish House fronting Bagot St during the demolition of the convent; the wood surround and Gothic sidelights postdate the original building campaign of 1822.

Conjectural drawing of the 1822 neoclassical doorway by Jennifer McKendry



Doorway in 2010

<p>1973</p>	<p>Kingston's Tercentennial: Plymouth Square at Ontario &amp; Johnson is demolished along other heritage buildings.</p>	
<p>1974</p>	<p>Architects Lily Inglis and Wilfred Sorensen are selected by City Council as architects for proposed new central library building, the land having been acquired two years earlier.</p> <div style="display: flex; justify-content: space-around; align-items: center;">   </div> <p style="text-align: center;">Lily Inglis in 2002</p> <p style="text-align: center;">Wilfred Sorensen in 2005</p>	<p>booklet distributed at the official opening of the library, 22 April 1978</p> <p>photo by J. McKendry</p> <p><i>Profile 16</i> March 2005 pp. 44-45</p>
<p>1975</p>	<p>Final building plans for the new library by Inglis &amp; Sorensen are accepted by City Council.</p> 	<p>booklet 22 April 1978</p> <p>Drawings supplied courtesy of Susan Crosswell, HDR Architecture Assoc, Inc.</p>

<p>1975 con't</p>	<p>The Ontario Heritage Foundation awards a grant of \$69,174 to the Library Board for the Parish House on condition that it will be designated under the provisions of the Ontario Heritage Act and protected as a building of historical and architectural value.</p>	<p>booklet 22 April 1978</p>
<p>1976</p>	<div data-bbox="305 380 1263 1016" data-label="Image"> </div> <p>205 Bagot Street is opened by the city as a seniors complex. It is designed to complement the new library in height and materials by architects Lily Inglis and Wilfred Sorensen. The site once held St Joseph's Church at the corner of William Street with an adjacent graveyard along Bagot St. The church was replaced by St Vincent's Academy for Girls in 1892.</p> <div data-bbox="662 1222 1252 1625" data-label="Image"> </div> <div data-bbox="764 1665 792 1696" data-label="Image"> </div> <p>There is a sod-turning ceremony on 20 May 1976 for the new library.</p>	<p>photo J. McKendry 2010</p> <p>booklet 22 April 1978</p>

1977

The new library is under construction.



construction of the new library, coll. Kingston Frontenac Public Library

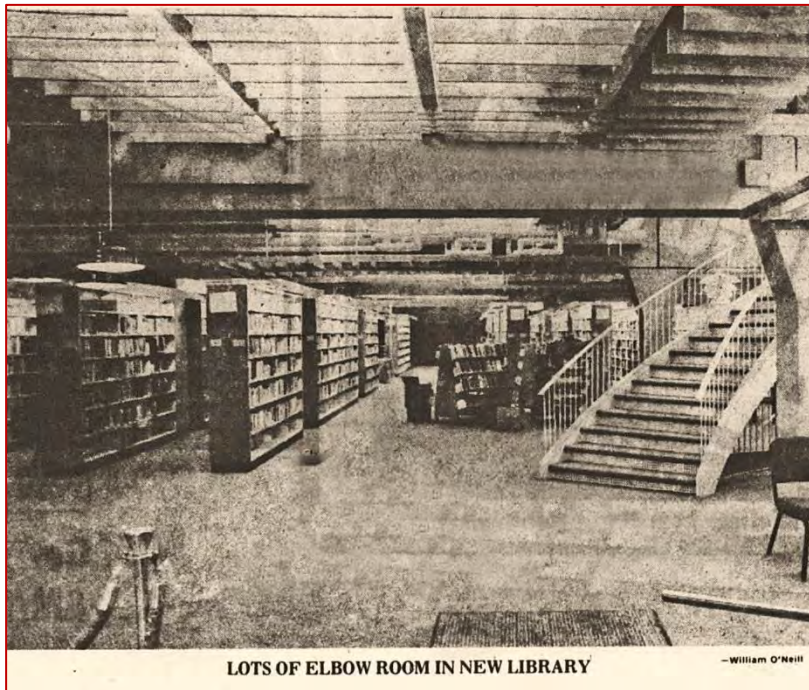
1977  
con't



construc-  
tion of the  
new library  
con't

1978

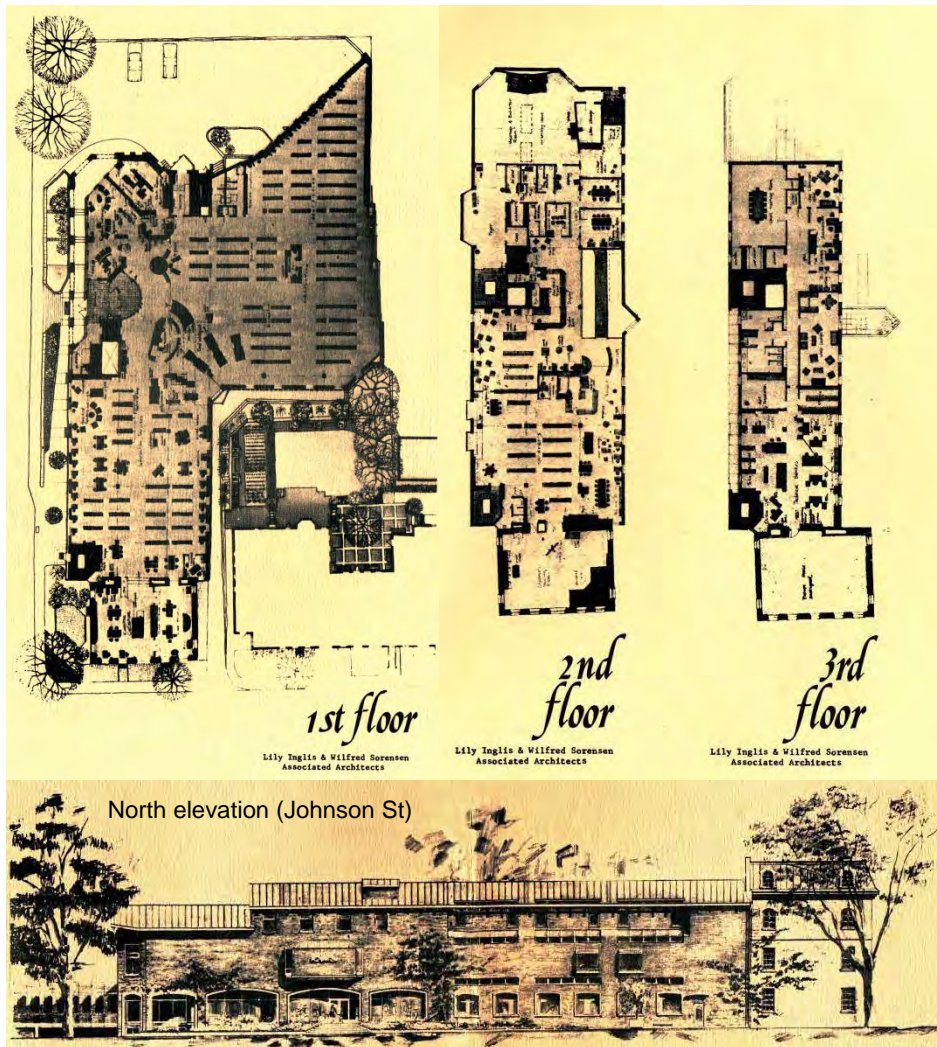
New Central Library opens to the public on 14 March. The automatic doors and concrete ramp for persons with physical disabilities are considered a great advancement on the old library.



*Kingston  
Whig-  
Standard*  
13 March  
1978

1978 con't	<p style="text-align: center;"><b><i>From the booklet distributed at the official opening of the Kingston Public Library, 22 April 1978</i></b></p> <table border="1"> <tr> <td>Materials: Exterior</td> <td>New section - Brick with stone trim Bishop's House - Original Kingston limestone</td> </tr> <tr> <td>Materials: Interior</td> <td>Brick, precast concrete, natural wood</td> </tr> <tr> <td>Area</td> <td>62,036 square feet</td> </tr> <tr> <td>Total Cost</td> <td>\$2,848,000</td> </tr> <tr> <td>Book Capacity</td> <td>210,000 volumes</td> </tr> <tr> <td>Seating</td> <td>reading and study areas 196; meeting rooms 275</td> </tr> <tr> <td>Architects For Building, Landscape &amp; Interior</td> <td>Lily Inglis and Wilfred Sorensen, Associated Architects</td> </tr> <tr> <td>Structural Consultants</td> <td>J.D. Lee Engineering</td> </tr> <tr> <td>Mechanical &amp; Electrical Consultants</td> <td>Zagrodney Engineering</td> </tr> <tr> <td>General Contractors</td> <td>M. Sullivan and Son Limited</td> </tr> <tr> <td>Library Consultant</td> <td>Albert Bowron</td> </tr> <tr> <td>User's Committee</td> <td>Mac De St Remy, Chairman, William Angus, James Boyd, Moira Cartwright, Trevor Dossett, Helen Finley, Wendy Low, Isabelle Smith, Verna Wilson</td> </tr> <tr> <td>Building Committee</td> <td>Mac De St. Remy, Chairman, James Boyd, William Angus</td> </tr> <tr> <td>Art Selection Committee</td> <td>Michael Davies, Chairman, Mary Apps, Moira Cartwright, Albert Fell, Lily Inglis</td> </tr> <tr> <td>Funding</td> <td>The City of Kingston with assistance from the province</td> </tr> </table>		Materials: Exterior	New section - Brick with stone trim Bishop's House - Original Kingston limestone	Materials: Interior	Brick, precast concrete, natural wood	Area	62,036 square feet	Total Cost	\$2,848,000	Book Capacity	210,000 volumes	Seating	reading and study areas 196; meeting rooms 275	Architects For Building, Landscape & Interior	Lily Inglis and Wilfred Sorensen, Associated Architects	Structural Consultants	J.D. Lee Engineering	Mechanical & Electrical Consultants	Zagrodney Engineering	General Contractors	M. Sullivan and Son Limited	Library Consultant	Albert Bowron	User's Committee	Mac De St Remy, Chairman, William Angus, James Boyd, Moira Cartwright, Trevor Dossett, Helen Finley, Wendy Low, Isabelle Smith, Verna Wilson	Building Committee	Mac De St. Remy, Chairman, James Boyd, William Angus	Art Selection Committee	Michael Davies, Chairman, Mary Apps, Moira Cartwright, Albert Fell, Lily Inglis	Funding	The City of Kingston with assistance from the province	
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Funding	The City of Kingston with assistance from the province																																
	<p>There is standing room only at the official opening attended by Ontario Lt-Gov. Pauline McGibbon and Kingston Mayor Kenneth Keyes. The rescue of the Parish House from the wrecking ball is duly noted. Architect Lily Inglis comments that the city had faith in Inglis &amp; Sorensen given that this is their first large building.</p>	<p><i>Kingston Whig-Standard, 24 April 1978</i></p>																															

1978  
con't



the official  
opening  
booklet  
con't

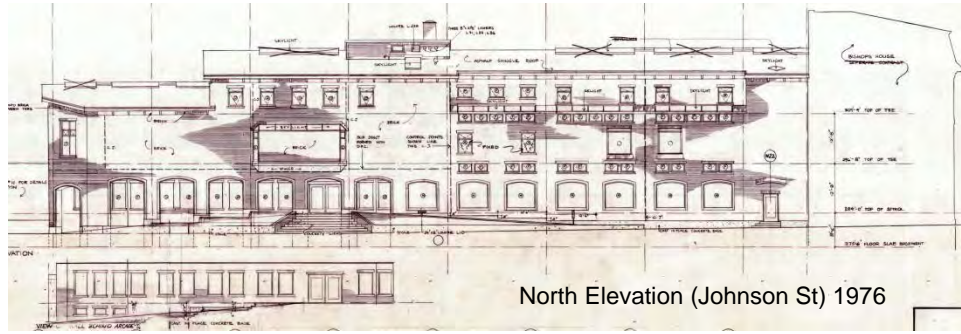


1978



photos coll.  
Kingston  
Frontenac  
Public  
Library

1978  
con't



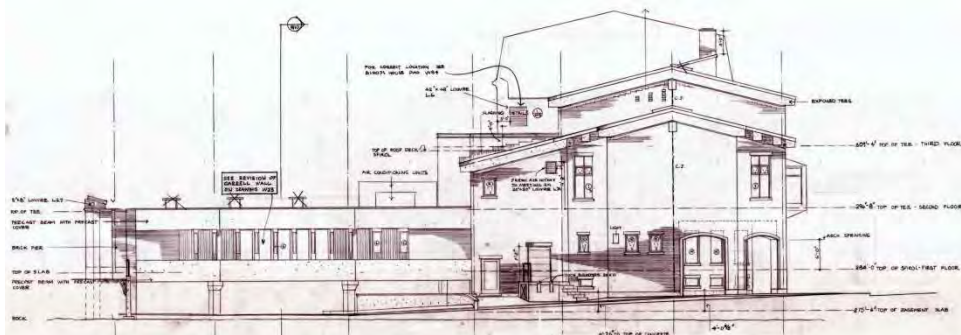
North Elevation (Johnson St) 1976



Drawings by Inglis & Sorensen supplied courtesy of Susan Crosswell, HDR Architecture Assoc, Inc.

1985 photo by J. McKendry

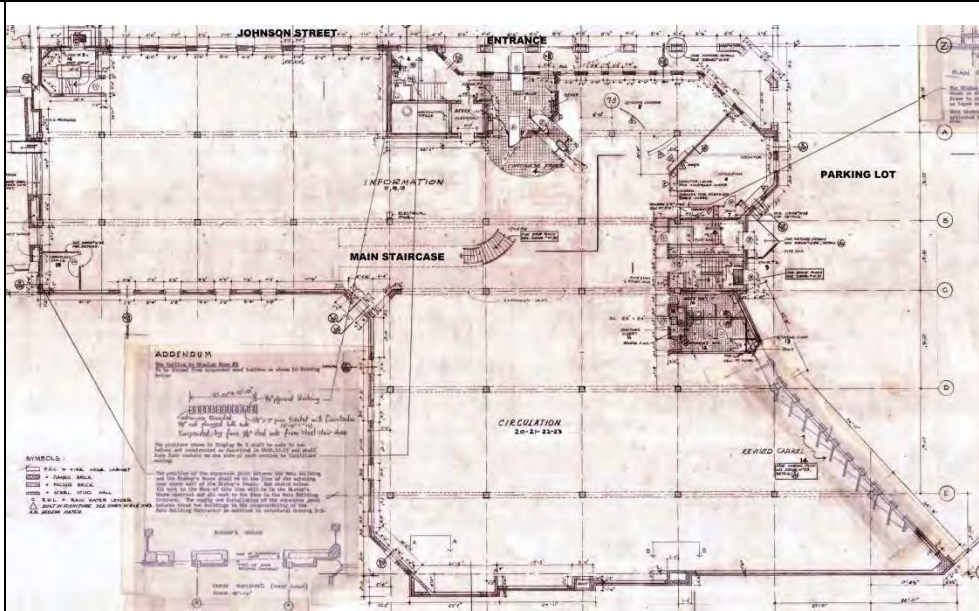
In the middle storey, there are two additional windows, which do not appear in the 1976 elevation or in the 1978 drawing for the official opening. However, they are in the construction photographs of 1977 and finished building in 1978 suggesting that they are part of the original building campaign and that this elevation is still preliminary.



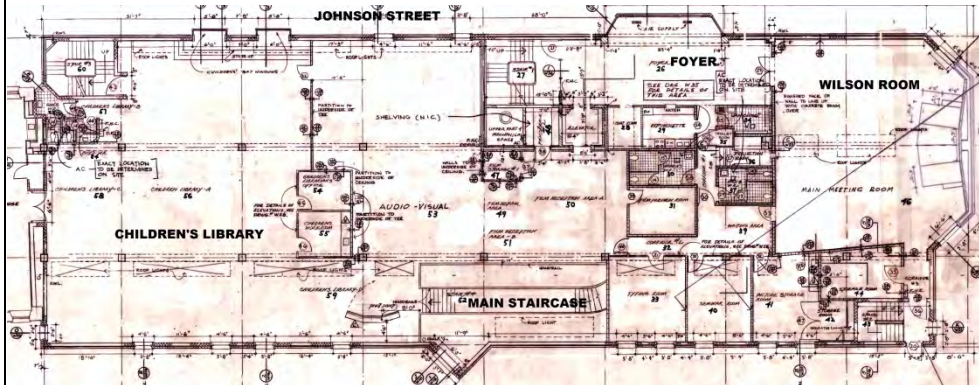
East elevation from the parking lot with Johnson St on the right, 1976, Inglis & Sorensen



1978  
con't




Main floor plan, 1976, by Inglis & Sorensen (cropped & labels added), Johnson St is at the top, the Parish House is not shown



Second floor plan, 1976, by Inglis & Sorensen (cropped & labels added), Johnson St is at the top, the Parish House is not shown



Third floor plan, 1975, by Inglis & Sorensen (cropped), Johnson St is at the top, the Parish House is on the left

1998	<p>The City of Kingston, Pittsburgh Township and Kingston Township are amalgamated.</p> <p>The Kingston Public Library and Frontenac County Library are amalgamated, and The Central Library becomes the administrative headquarters for the new Kingston Frontenac Public Library.</p>	Joanne Stanbridge
2016	 <p>The top photograph shows a street view from Wellington towards Bagot, featuring a large Gothic Revival church with a prominent red door on the right and a row of red brick buildings on the left. The middle photograph shows the exterior of the Kingston Frontenac Public Library, a large red brick building with a prominent gabled roof and arched windows. The bottom photograph shows a street view from Bagot towards Wellington, featuring a row of historic buildings and bare trees in the foreground.</p>	<p>from Wellington towards Bagot</p> <p>photo J. McKendry 2013 – 2016</p> <p>from Bagot towards Wellington</p>

2016  
con't



from Bagot

photo J.  
McKendry  
2013 –  
2016



2016  
con't

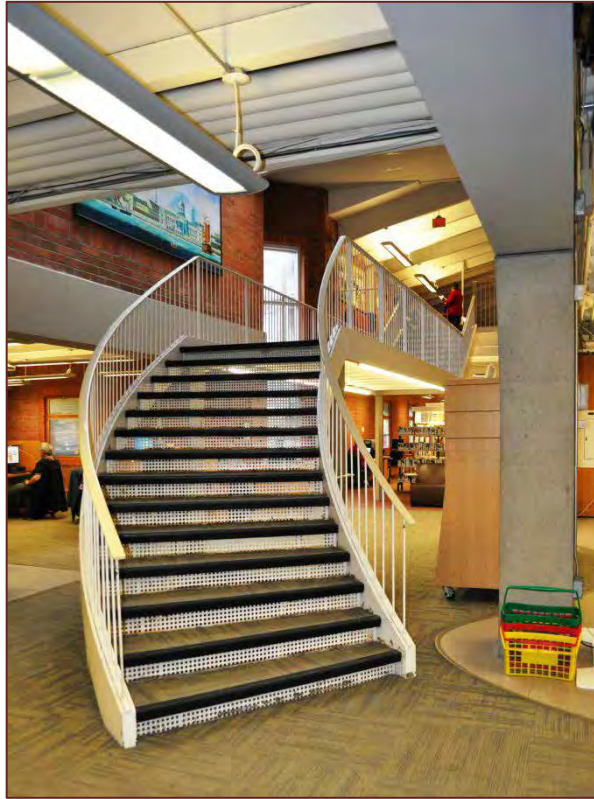


the arcade

photo J.  
McKendry  
2013 –  
2016



2016  
con't



the main staircase

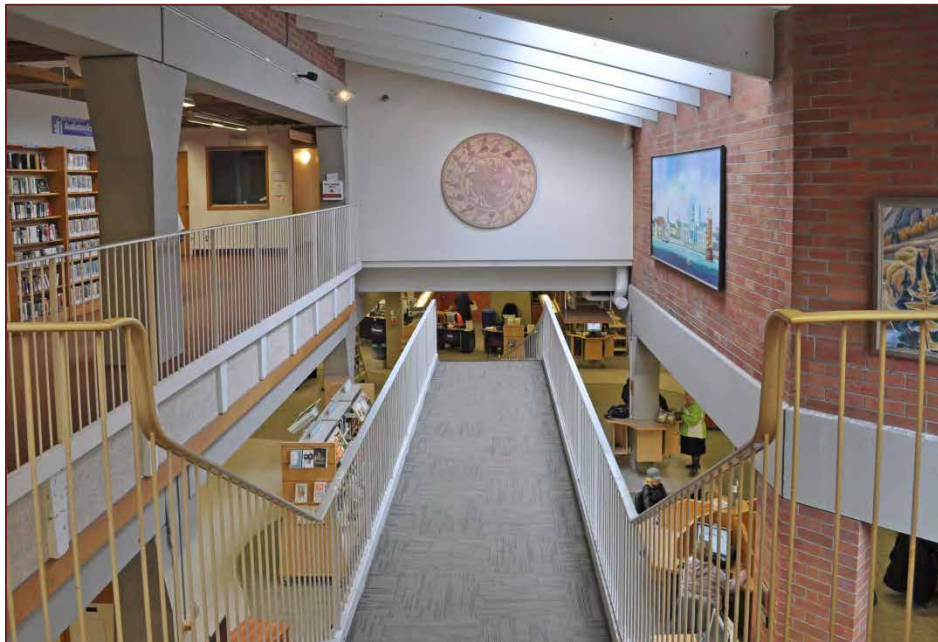


photo J.  
McKendry  
2016

2016  
con't



photo J.  
McKendry  
2013 –  
2016



2016  
con't

Style is a difficult issue here. In the 1970s, architecture is moving away from the anti-historicism of the International Style, which has dominated since the First World War. One can argue that in the Kingston Frontenac Public Library we see a reaction to the exposed concrete and white brick of International Style through the use of natural stone and red brick. Where severe cube-like forms once ruled, there is now a complexity of forms and roof levels. Where curtain walls of glass and steel once dissolved the solidity of walls, now the solid wall has returned punctuated by traditional window forms. The library does not show the trickster aspect of bizarre shapes found in certain Postmodern buildings but does break from the box with an angled east end wall. Along with other Postmodernist buildings, the library does incorporate historical motifs combined in a free manner. The medieval town arcade or monastery cloister becomes an arcuated entranceway running parallel to the street. Sloped roof forms displace the flat modernist roofs in vogue since at least the 1920s. Emphasizing tradition, the rafter ends are exposed, as is found in medieval architecture. The oriel on the main façade is also a feature of the medieval period. Obvious historical motifs are not forced on the viewer, such as crenellations or towers, but the spirit of a rambling monastery is present. The interior piers, for example, are not from identifiable Orders but speak of the pudgy shafts and simple capitals of some early church columns. The exposed concrete beams in parts of the ceilings are reminiscent of open wood beams in early churches and manor houses. Even the exposed brick on the interior echoes that in certain Romanesque churches. The traditional elements do not come from Kingston architecture but from Italy and other European countries.



medieval  
inspiration



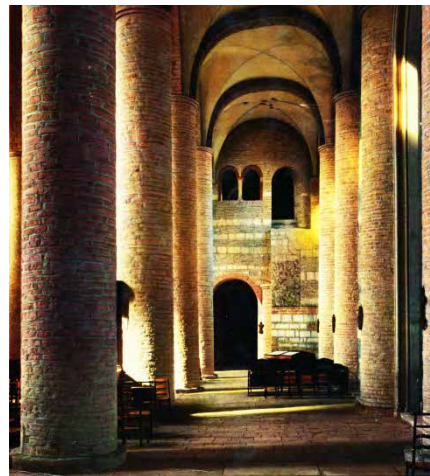
medieval  
inspiration

2016  
con't

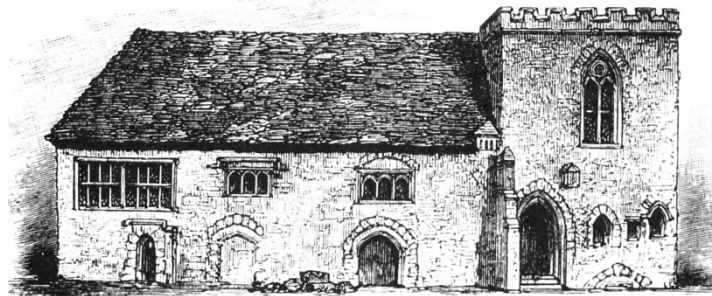


2016

Note the open beams, simple piers and exposed brick and stone



medieval  
inspiration



1



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## 2. Designation by-law

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DATE Aug 30, 1976

[Signature]  
CITY SOLICITOR

Report No. 72  
Clause 8

BY-LAW NO. 8497

A BY-LAW TO DESIGNATE CERTAIN PROPERTIES WITHIN THE MUNICIPALITY TO BE OF HISTORIC OR ARCHITECTURAL VALUE OR INTEREST

PASSED: July 28th, 1975.

WHEREAS Section 29 of The Ontario Heritage Act, 1974, provides that the Council of a municipality may, by by-law, designate a property within the municipality to be of historic or architectural value or interest;

AND WHEREAS notice of intention to designate certain properties within the municipality was served on the owners of the property and The Ontario Heritage Foundation on June 2nd, 1975, and was published in the Whig-Standard on June 2nd, 9th and 16th, 1975;

AND WHEREAS no objections were received against the designation of the said certain properties as a result of the aforementioned notices;

THEREFORE the Council of the Corporation of the City of Kingston enacts as follows:

1. The following properties be and are hereby designated to be of historic or architectural value or interest:

(1) CITY HALL - 216 Ontario Street

Built: 1842-44, rear wing rebuilt 1865-66, dome rebuilt 1909

Architects: 1841-43 George Browne  
1844, 1866 William Coverdale  
1909 Joseph Power

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Part Market Reserve, Original Survey, M1802 Patent.

Owner: The Corporation of the City of Kingston

Reason for Designation: This building is one of the finest nineteenth century municipal buildings in Ontario and is one of the great classic buildings of Canada. It was designated as being of national significance by the Historic Sites and Monuments Board of Canada in 1961.

(2) ST. GEORGE'S CATHEDRAL BLOCK

St. George's Cathedral, St. George's Church, House, Caretaker's Cottage, Old Post Office, Customs House.

Reason for Designation: The differing limestone buildings render this block unique in the City of Kingston. The relationship of the building masses to each other and to the streets, provide a most interesting progression of scale from the smallest residential building to St. George's Cathedral.

(22) ROCKWOOD HOUSE - Kingston Psychiatric Hospital Grounds (cont'd)

Reason for Designation: This house was built for J. S. Cartwright, lawyer. This imposing stucco building is one of the most famous Regency villas in Kingston.

(23) BISHOP'S HOUSE - Corner of Bagot and Johnson Streets

Built: c.1812

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Lot 248, Original Survey, as described in Instrument #223810.

Owner: The Corporation of the City of Kingston

Reason for Designation: This building was first recorded in the Ordnance Papers of 1813 as being owned by the Reverend Macdonnell. Although this building has received some stylistic alterations, namely a mansard roof and some Gothic Revival trim, it is on the whole a good example of a Classic Revival townhouse.

(24) VICTORIA AND GREY TRUST COMPANY - 168 Wellington Street

Built: 1842

Architect: George Browne

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Part of Lot 188, Original Survey, as described in Instruments #78705 and #181985.

Owner: Victoria and Grey Trust Company

Reason for Designation: This commercial block is one of the two remaining round-cornered stone buildings designed by George Browne in the early 1840's. The classical symmetry of its design and the fine texture of its stone ashlar facade have both been well preserved.

(25) 103 WELLINGTON STREET

Built: c.1837

Building: Sidney Scobell

Description: All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Kingston and County of Frontenac, and being more particularly described as Part of Lot 164, Original Survey, as described in Instrument #212428.

Owner: Gillian Mary Margaret Sadinsky

Reason for Designation: This house is an excellent example of a whimsical Greek Revival treatment on what is otherwise - in scale and character - a Loyalist style cottage.

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### 3. Sample Temporary Protection Plan



**Temporary Protection  
Christchurch City Council**

**14**

*HERITAGE INFORMATION*



**TEMPORARY PROTECTION  
OF HERITAGE ITEMS**



**CHRISTCHURCH**  
CITY COUNCIL · YOUR PEOPLE · YOUR CITY

## WHAT IS A TEMPORARY PROTECTION PLAN?

A *Temporary Protection Plan* (TPP) is a plan that identifies potential risks and outlines measures to reduce the potential for damage to the heritage item during demolition or construction in the immediate area. It also identifies monitoring methods to be used during the course of the building works. A TPP results from consultation between members of the construction, project management team, a heritage consultant and the Council. Such a plan documents the condition of a heritage item before any site works begin and identifies potential risks to that item as a result of any nearby construction.

This further explanation of information contained in the Christchurch City Council's '*Temporary Protection*' leaflet 14, is intended to aid applicants in considering the range of issues that may be pertinent to their project as part of a resource consent application. Related information leaflets may also be found on the Council website, [www.ccc.govt.nz/heritage](http://www.ccc.govt.nz/heritage).

Protecting a historic building from adjacent construction or demolition activity requires thoughtful planning and cooperation between the developer and the historic property owner. Thorough pre-construction documentation of the historic structure ensures a common understanding of present conditions and suggests appropriate damage prevention measures that can be taken at both the historic site and the construction site. A routine program of visual inspection and vibration and movement monitoring helps insure early detection in cases where the historic building is experiencing effects of neighbouring construction work. Early consideration of these issues, before damage takes place or worsens, can allow for the adoption of safeguards that protect the developer's schedule and budget and the physical integrity of the historic structure.

Each instance of new construction or demolition next to an existing historic structure will involve varying risks to that structure. The proximity of the historic site to the project and the scope of the project are two of the most significant variables. Other factors influencing the degree of likely impact include the age, construction type and structural integrity of the heritage item, as well as the depth and makeup of its foundation and its surrounding soil types.

Temporary protection of historic interiors during construction, an essential component of any heritage project. A successful protection program is the result of careful pre-planning, thorough project specific specifications, owner vigilance, contract enforcement, and contractor diligence. Cost savings can be realized by minimizing damage to the historic structure in the course of construction work. Even more importantly, a successful protection program controls risks and hazards that could otherwise result in the loss of significant historic materials and finishes or an entire building.

This guidance will enable you to consider the types of situations that ought to be addressed in the lead-up to the preparation of a Temporary Protection Plan (TPP). By understanding the nature and extent of the work that you are proposing, identifying the "activity", "risk" and "measures" to be undertaken will assist the Council in assessing your application.



**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN FOR HERITAGE ITEMS**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>1. DOCUMENTATION</b>		
	<p>If the condition of the heritage item is not documented, understood and addressed before construction activity begins, the heritage item may be at risk of damage.</p>	<p>To document the existing condition of the historic structure. To ensure that such an investigation provides a "baseline" from which changes to the building during the adjacent construction can be identified, monitored and assessed.</p> <p>To undertake joint surveys, in which the developer, the heritage property owner and a heritage consultant participate or sign off on noted conditions of the building.</p> <p>To characterize existing damage and expose potential weaknesses or areas of the structure that may require additional protection. To identify any appropriate locations for monitoring equipment.</p>
<b>2. COMMUNICATION</b>		
	<p>If construction issues related to the heritage item are not considered by the various disciplines involved in the project and addressed before construction activity begins, the heritage item may be at risk.</p>	<p>Pre-construction meetings will address several issues. Most important, the parties will reach an understanding about what steps will be taken to protect the heritage item. Responsibility for implementing the agreed upon protections will be established among the developer, the general contractor, a heritage consultant and relevant subcontractors, and the historic property owner. Such decisions will be listed in performance specifications that accompany agreements between the contractor and the developer.</p>

## EXAMPLES OF MATTERS TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN

<b>3. SCAFFOLDING</b>
(a) If your project involves an <b>activity</b> such as scaffolding, there may be a <b>risk</b> of damage to the heritage fabric. Describe what protective <b>measures</b> will be specified and/or undertaken to ensure that any requirement for the use of the building to achieve horizontal restraint of the scaffold will mitigate against the possibility of damage to the heritage fabric.
(b) If your project involves an <b>activity</b> such as the support of scaffolding, cranes or heavy equipment over historic foundations, there may be a <b>risk</b> of damage to the heritage item as a result of its inability to support the additional weight. Describe what protective <b>measures</b> will be specified and/or undertaken to ensure that any requirement to support additional loads near the heritage item will mitigate against the possibility of damage to the heritage fabric.
(c) If your project involves an <b>activity</b> such as erecting scaffolds, the use of cranes or the construction of new work near to heritage items, there may be a <b>risk</b> of damage to the heritage item where the movement of equipment could come into conflict with overhanging cornices and other projections. Describe what protective <b>measures</b> will be specified and/or undertaken to ensure that the erection of scaffolding or any construction near the heritage item will mitigate against the possibility of damage to the heritage fabric.
(d) If your project involves an <b>activity</b> such as passing scaffold tubes, shoring members or construction material through historic doors and windows, there may be a <b>risk</b> of damage to the heritage item or the risk of enabling unauthorised entry where doors and windows are to be temporarily removed. Describe what protective <b>measures</b> will be specified and/or undertaken to ensure that the need to pass scaffold tubes, shoring members or construction material through historic doors and windows will mitigate against the possibility of damage to the heritage fabric and prevent unauthorized access to the structure.
(e) If your project involves an <b>activity</b> such as storing historic masonry on to a scaffold, there may be a <b>risk</b> of damage to the heritage item resulting from an instability of the scaffold. Describe what protective <b>measures</b> will be specified and/or undertaken to ensure that any requirement to store masonry on to a scaffold will mitigate against the possibility of damage to the heritage fabric or instability of the scaffold.
<b>4. ALTERATIONS</b>
(a) If your project involves an <b>activity</b> such as the removal of load-bearing foundations, walls or other structural elements to which a heritage item relies, there may be a <b>risk</b> of damage or collapse of the heritage fabric. Describe what protective <b>measures</b> will be specified and/or undertaken to ensure that any requirement to alter or remove fabric will mitigate against the possibility of damage to the heritage fabric.
(b) If your project involves an <b>activity</b> such as fixings to historic masonry, there may be a <b>risk</b> of damage to the heritage item or the stability of the item being fixed. Describe what protective <b>measures</b> will be specified and/or undertaken to ensure that any requirement to fix an item to historic masonry will mitigate against the possibility of damage to the heritage fabric.

## EXAMPLES OF MATTERS TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN

### 5. NEARBY CONSTRUCTION OR DISTURBANCE

(a) If your project involves an **activity** such as construction proximate to a heritage item, there may be a **risk** of damage to the heritage item from construction activity, concentrations of dust, vibration and fire hazards. Describe what protective **measures** will be specified and/or undertaken to ensure that any nearby disturbance or new construction to a heritage item will mitigate against the possibility of damage to the heritage fabric resulting from nearby activities.

(b) If your project involves an **activity** such as adjacent or nearby construction to a heritage item, there may be a **risk** of damage to the heritage item arising from its condition. Describe what protective **measures** will be specified and/or undertaken to ensure that any nearby disturbance or new construction to a heritage item will mitigate against the possibility of causing any adverse effects on the existing condition of the heritage fabric.

## EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>NEARBY CONST'N</b>		
	Increased dust, vibration and fire from nearby construction may place interior architectural features and furnishings at risk.	To employ dust suppression measures such as the installation of fabric enclosure systems.  Vulnerable interior objects and artefacts will be covered or temporarily relocated to a secure storage facility during the works. Windows will be taped shut or temporarily sealed with clear polyethylene sheets.
	Demolition and new foundation work that can affect the adjacent heritage item, as well as the tools and methods used in demolition (such as impact hammers, wrecking balls, pavement breakers and implosion blasting) may be transmitted to the heritage structure.	Hand demolition will be employed.  To employ non-displacement piles that are inserted in bored holes rather than driven.
	Techniques used to prepare new foundations (pile driving and blasting) may create vibrations. Vibrations may also be caused by increased truck traffic accompanying new construction or demolition work.	To "jack-in" or press the piles into the ground.  To locate delivery entry and exit points farther from the heritage item.
<b>MOVEMENT</b>		
	Ground displacement and movement of an adjacent historic building caused by excavation and foundation work, particularly where foundations are much deeper than the foundations of neighbouring heritage item.	To use engineered underpinning or strengthening of excavation walls with tie backs in order to resist movement of the adjacent structure.

**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>CHANGES IN WATER LEVEL</b>		
	Debris originating at the construction site, finding its way to the gutters, downspouts and drains of the adjacent heritage building.	<p>To conduct regular visual inspections, including the checking of gutters, valleys and exposed drains for any obstructions.</p> <p>To document any indications of dampness or water damage where gutters and downspouts meet other building surfaces.</p>
	Inadvertent sealing off or collapse of old pipes running from neighbouring buildings, preventing blocked pipes from removing water from both above and below the surface of the heritage item may result in excessive moisture levels or flooding.	
	In some cases, the lack of water beneath an historic structure can lead to damage. When groundwater or storm water is removed from a neighbouring site during foundation excavations (a process known as "dewatering"), the groundwater level beneath the heritage item may also drop.	The property manager will work with the neighbouring construction team to maintain the existing water table. This can be done using watertight excavation support systems such as slurry walls which ensure that most of the water pumped out of the construction site does not come from adjacent properties.

**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>FIRE</b>		
	<p>Some temporary heating devices, gas torches, sparks, molten metal and undersized electrical utility panels may be a source of fire at construction sites.</p> <p>Some temporary heating devices are portable and often unstable. They may have movable and nearby fuel tanks and may also exhaust into the space being heated.</p>	<p>A propane heater will be used because it is safe and clean in operation and also has greater output and portability than an electric heater.</p>
	<p>The improper storage of fuels, cloth rags and brushes, which presents an opportunity for fire to ignite and spread.</p>	<p>Combustibles will be moved away from the heritage item or safely covered; fire watchmen with extinguishers will be posted for the duration of the work and for 30 minutes after work completion; and cutting and welding operations will cease 2 hours prior to the close of construction each day to minimize the risk of undetected smouldering fire.</p>
	<p>The use of open flame cutting, welding, and soldering equipment.</p>	<p>The contractor will meet with the local fire official to plan site and building access in the event of fire. The extent of fire department coordination is dependent on the size and location of the project, the significance of the structure, and the type of hazardous operations included in the project scope. Access paths for heavy fire fighting equipment will be laid out and maintained. Free access from the street to fire hydrants and to outside connections for standpipes, sprinklers or other fire extinguishing equipment will be provided and maintained.</p>

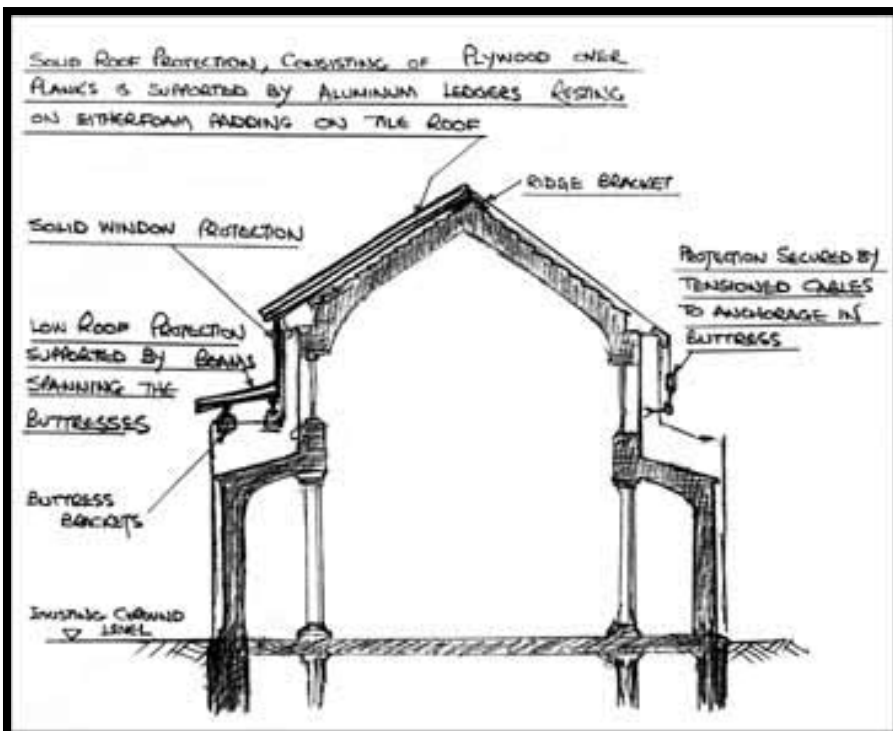
**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>FIRE (continued)</b>		
	<p>Use of heating devices to remove paint. In addition to the possibility of igniting the wood, there is the even greater risk of ignition of flammable debris commonly found in wall cavities and behind cornices</p>	<p>The use of open flame devices to remove paint will be prohibited in the specifications. Special precautions will be delineated when allowing heat plates and especially hot airguns.</p> <p>The use of heat devices will be prohibited near cornice soffits or other similar conditions where friable combustible material may be exposed to heat through cracks and open joints.</p> <p>The construction specifications will also require that temporary fire detection devices be installed in close proximity to the specific work area and that the alarm system be directly monitored.</p>
	<p>Alterations to fire stairs and elevators may create unvented, unprotected multi-story shafts which behave as flues in the event of a fire. Alterations to fire stairs, fire separations, and fire sprinkler systems may require the deactivation or partial deactivation of such systems during construction work. Building heat and water are often turned off during major rehabilitation, introducing the hazard of temporary heat while reducing the protection afforded by a quick water supply. And finally, the rehabilitation of major structures typically involves large construction equipment, including those powered by internal combustion engines within or immediately adjacent to the building.</p> <p><b>(see also Security Lapse)</b></p>	<p>The use of internal combustion engines indoors, fuel storage, equipment operation, and equipment service will be addressed in the specifications. All exhausts will discharge to the building exterior. Fuel for internal combustion engines will not be stored and equipment will not be serviced within the building.</p>

**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>SECURITY LAPSE</b>		
	The security of a historic building may be threatened when adjacent construction provides opportunities for illegal entry.	All doors and windows will be fastened from the roof to the interior. Windows will be secured with wooden or pre-formed panels properly installed to protect window frames.
<b>PHYSICAL IMPACT</b>		
	Direct physical damage to neighbouring historic features and materials caused by cranes and hoists on a construction site and include workers dropping building supplies and tools onto an adjacent historic structure. Misdirected debris chutes and backing vehicles may also place the heritage item at risk.	<p>Protective barriers will be placed over any area of the heritage structure deemed at risk. Where new construction rises significantly above the heritage building, plywood sheets will be placed over the roof to distribute the force of dropped materials. (see Figure 1) Plywood covers will also be placed over decorative roof embellishments such as finials and balustrades.</p> <p>Windows will be covered with plywood. Layers of cushioning materials will be placed between the plywood covering and particularly fragile windows, such as stained glass.</p> <p>Horizontal and vertical netting and barriers will be put in place at the construction site.</p>

**AN EXAMPLE OF AN ILLUSTRATED TEMPORARY PROTECTION MEASURE TO MITIGATE AGAINST THE POTENTIAL RISK OF DAMAGE TO HISTORIC TILE ROOF AND CLERESTORY WINDOWS**

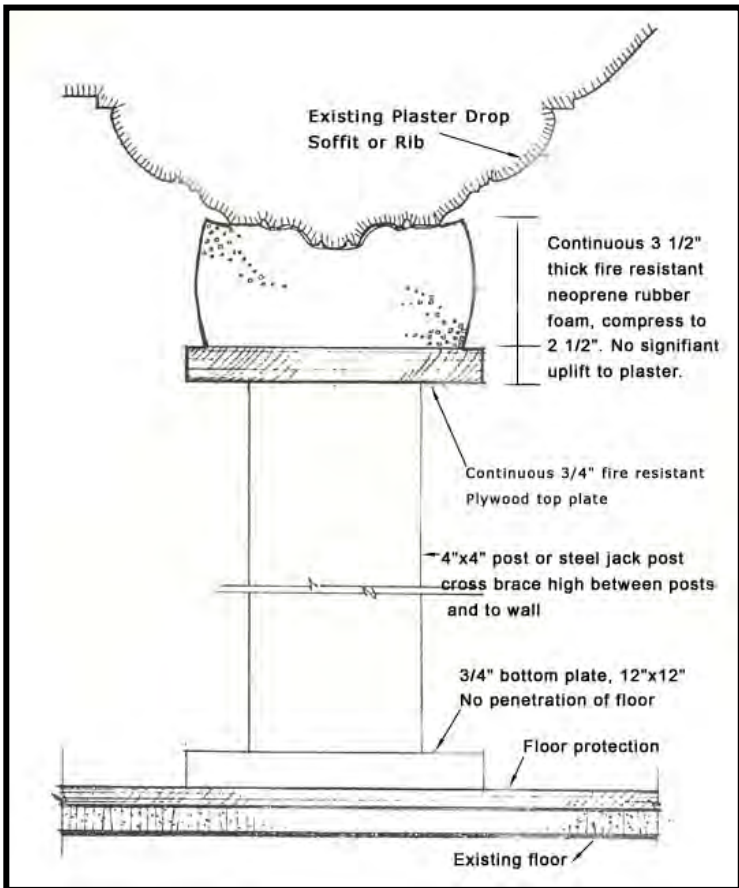


**Figure 1.** Before new construction was undertaken to the left of this church, a subcontractor was hired to design a protective system for the tile roof and clerestory windows. Drawing: Alan Shalders, Universal Builders Supply, Inc.

**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
PHYSICAL IMPACT	Existing interior features and finishes will be exposed to high impact and potentially damaging construction phases of the project.	<p>Important architectural features which are easily removed will be stored off site, if possible, to protect them from vandalism, theft and damage during construction. (<b>see also Storage</b>) Lighting fixtures, fireplace mantels, and interior doors are typical examples.</p> <p>Interior finishes will be physically isolated from construction operations by means of protective barriers and coverings. Such surfaces are generally limited to flooring, walls up to approximately 2m height, and special construction such as staircases.</p> <p>Fragile ornamental ceiling medallions and cornices that are at risk to physical abuse or to vibration damage caused by construction activities will be cushioned with padded wood supports. (see <b>Figure 2</b>)</p>

**AN EXAMPLE OF AN ILLUSTRATED TEMPORARY PROTECTION MEASURE TO MITIGATE AGAINST THE POTENTIAL RISK OF DAMAGE TO ORNAMENTAL PLASTERED CEILINGS**



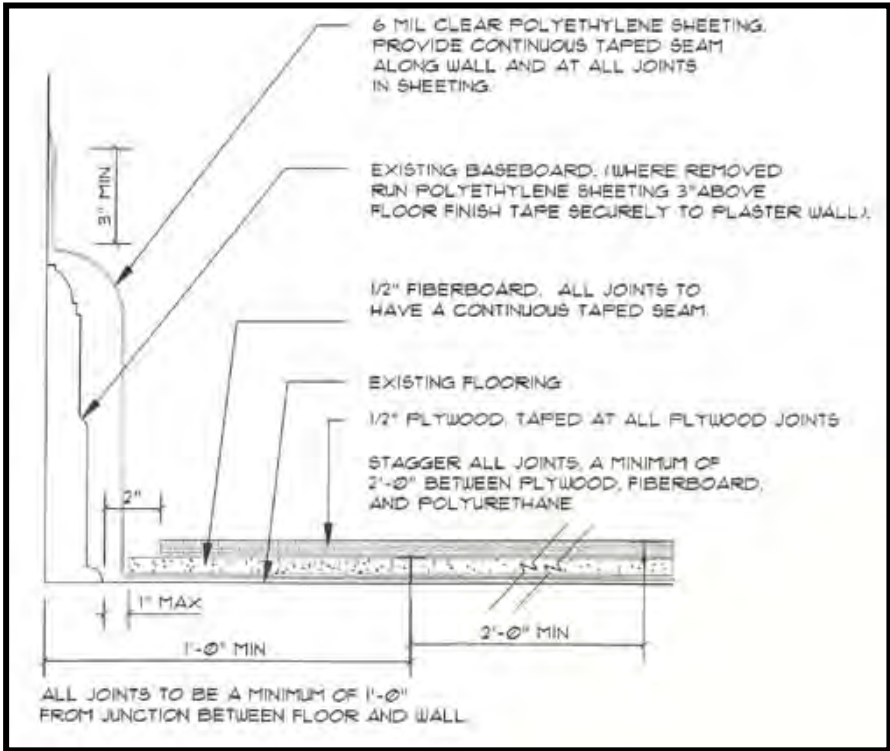
**Figure 2.** Vibrations generated during construction may necessitate the installation of temporary support for such fragile features as plaster ceiling cornices and soffits. Drawing: Villard Houses - courtesy of Emery Rotb & Sons Architects. RC. Photo: The Octagon, Annie Hovey, AIA.



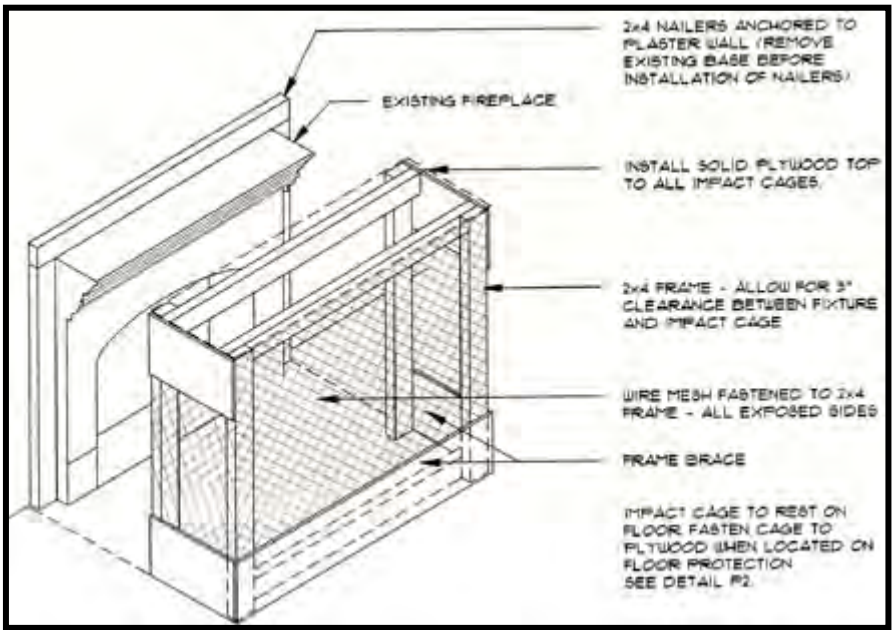
**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>PHYSICAL IMPACT</b>		
	<p>Existing interior features and finishes will be exposed to high impact and potentially damaging construction phases of the project.</p>	<p>Flooring will be protected from damage (see <b>Figure 3</b>) caused by abrasion, falling objects, dust and dirt, and spilled liquids. Damage caused by abrasion will be controlled by means of protective coverings such as canvas tarps or resilient wood fibre panels. Canvas tarps will overlap and be taped at all joints. Resilient wood fibre panels will be carefully fitted with tight seams and laid continuously wall to wall. Joints will be taped to avoid displacement of the panels after setting.</p> <p>Wall protection will be fabricated from fire-retardant treated plywood (or equivalent) attached to wood framing. The assembly will be self-supporting and self-bracing, secured at its base to the floor protection assembly. Struts and wailers need to be provided, as required, to brace the assembly without installing fasteners into the historic wall finish. Careful assembly will include using screw fasteners in order to eliminate hammering (including the use of nail guns) during assembly and ripping damage during disassembly. Where wood framing, furring, or panels abut historic wall materials, the back side of the protective assembly will also be padded using strips of neoprene or equivalent, glued to the protective assembly member.</p> <p>Historic stairways, balustrades, balconies, fireplaces, door surrounds, window surrounds, and other components will also be protected from construction damage by combining the techniques described for floors and wails. (see <b>Figure 4</b>)</p> <p>Temporary protection during construction will involve covering heritage features, such as floors and walls, as well as using temporary doors to control the passage of workers and the inevitable dust and dirt. Fire extinguishers will be prominently located.</p>

**EXAMPLES OF ILLUSTRATED TEMPORARY PROTECTION MEASURES TO MITIGATE AGAINST THE POTENTIAL RISK OF DAMAGE TO INTERIOR FEATURES**



**Figure 3.** To provide for adequate floor protection, this area was swept clean, then covered with polyethylene sheeting to protect against spills and dirt abrasion. Fiberboard was placed over floors and the joints sealed with tape. Finally plywood was laid with all joints taped.



**Figure 4.** A self-supporting impact cage utilizing wood and wire mesh protects the fireplace. In this project, the long construction process required builders to have visible access to features such as the fireplace. The wire mesh also facilitated monitoring during the lengthy construction. Photo and drawing: Ford Farewell Mills and Gatsch Architects.

**EXAMPLES OF ACTIVITIES, POTENTIAL RISKS AND PROPOSED MITIGATION MEASURES TO BE ADDRESSED IN A TEMPORARY PROTECTION PLAN**

ACTIVITY	POTENTIAL RISK	PROPOSED MITIGATION MEASURE
<b>VIBRATION</b>		
	Vibration damage to neighbouring historic features and materials caused by construction equipment and vehicles may also place the heritage item at risk.	Delivery locations and times will be arranged to limit disruption and possible damage to neighbouring heritage item.
<b>STORAGE</b>	The materials and methods employed for the removal, handling, storage and reinstatement of important interior features may place these features at risk. (see also Physical Impact related to important interior features)	Important features identified in the plans which are easily removable without adverse effects to the heritage item, shall be temporarily removed during the construction works. This measure will be in accordance with conservation advice contained in specifications which outline the materials and methods to be used for the removal, handling, storage and reinstatement of such features.
<b>SPILLS</b>		
	Spills of construction materials on to the heritage item may result in irreversible damage.	Heritage facades will be covered as a means of protecting it against mortar drops, cleaning solvents, tar and asphalt splash.
<b>MONITORING</b>	<b>(various, identified above)</b>	
		<p>Thresholds will be established to take into account surrounding soils, the makeup and condition of the adjacent foundation and the particular vulnerabilities of the heritage item.</p> <p>A program of on-site testing will be conducted before work begins, where major excavation work next to heritage items is proposed. Testing various charges, delays and impacts from pile-driving will aid in developing a controlled program that limits construction-induced damage to a neighbouring property.</p> <p>A monitoring program will be undertaken to detect, gauge, record and interpret structural movement, the effects of vibration and other changes to the heritage item that may result from neighbouring construction or demolition work.</p> <p>To monitor cracking with the use of telltales made from two sheets of overlaid plastic with a grid in order to track changes.</p>

**EXAMPLES OF PROPOSED TEMPORARY PROTECTION MEASURES WITHIN A *TEMPORARY PROTECTION PLAN* ON CHRISTCHURCH PROJECTS INVOLVING LISTED HERITAGE ITEMS**

	<b>Activity</b>	<b>Potential Risk</b>	<b>Proposed Mitigation Measure</b>	
1	Removal of some slate roofing to create junction with new work	Accidental damage to or loss of original fabric	Provide safety nets below affected areas to prevent slate and other materials falling or sliding below. Allow for adequate, safe means of conveying slates to below. Store salvaged slates in robust containers to minimise handling, storage and breakage.	✓
2	Removal of addition to heritage building	Vibration and/or damage to heritage fabric.	Demolition contractor to be briefed on conservation issues. Particular attention given to the protection of any exposed heritage fabric. Provide protection with plywood. Monitor carefully for any cracks appearing in finishes or any expansion of existing cracks. Consult conservation architect and stop work if required.	X
3	Nearby excavation	Damage to adjacent heritage fabric through collapse due to unstable ground.	Excavation contractor to be briefed on conservation issues. Work to be monitored, with particular attention being given to protection from collapse.	X
4	Temporary Support	Damage to heritage fabric	Heritage fabric shall be protected from temporary support and no penetrations such as bolts, nails, etc. are to be used. All temporary supports must be signed off by a registered structural engineer.	✓
5	Heritage finishes		Protect exposed heritage finishes or vulnerable heritage fabric with bubble-wrap, foam rubber, expanded polystyrene, plywood, self-adhesive Poli-film and the like. Floors should be protected with hardboard over soft board or Poli-film, depending on the level of hazard. A test area of Poli-film must be carried out to ensure removal will not damage finishes. Do not fix any temporary protection to heritage finishes with screws, nails, adhesives or the like.	✓

**X** NOT RECOMMENDED – Specification for the proposed mitigation is too general and/or unclear.

**✓** RECOMMENDED – Proposed mitigation offers specific actions to address the potential risk.

\* For large or complex projects, proposed mitigation measures should be “specified” in a separate specification division section entitled “Special Project Procedure” or “Conservation Project Procedures” to ensure that required provisions are not overlooked by bidders

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## 4. Architect's design pamphlets

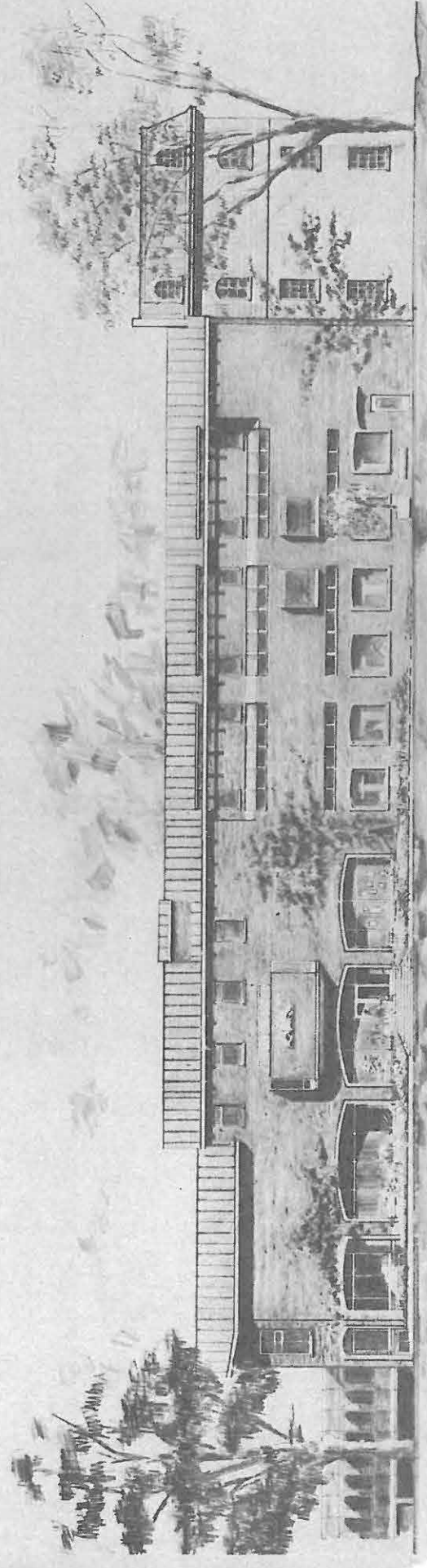
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NEW KINGSTON PUBLIC LIBRARY - NEW BUILDING

# New Kingston Public Library

Lily Inglis & Wilfred Sorenson Associated  
Architects for the Kingston Public Library



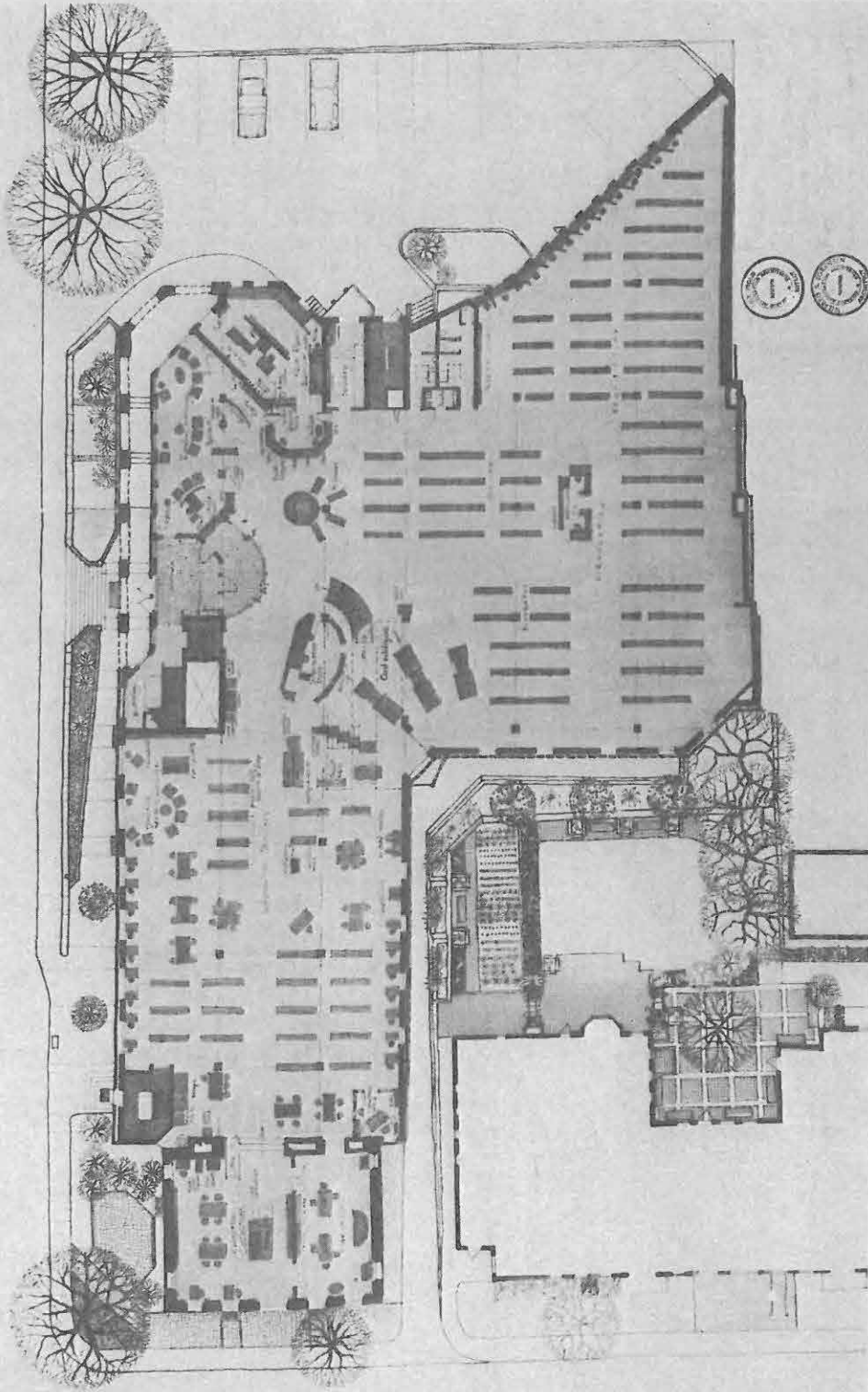
NORTH ELEVATION

*Kingston Public Library First Floor Plan showing O.H.C. garden.*

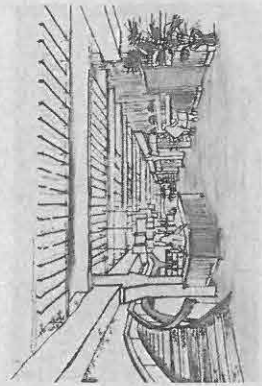
For ease of supervision one public entrance serves the entire building.

Once inside considerable emphasis is given the information desk located next to the curved stair leading to the second floor.

The main floor includes the circulation department, the reading room, charging desk, workroom and public washrooms.

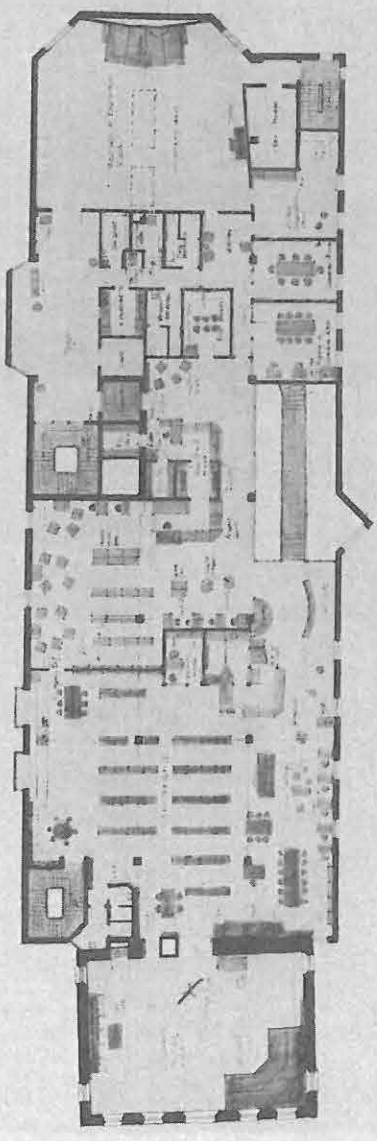


*View from Main Entrance into Information Service.*





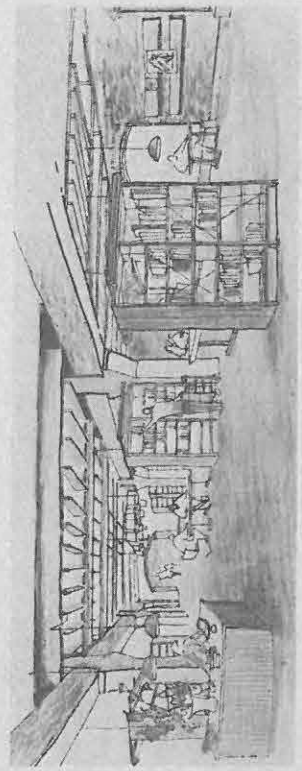
*Kingston Public Library  
Second Floor Plan.*



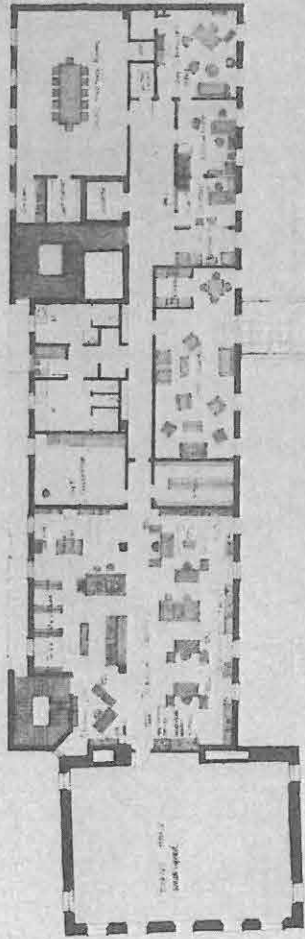
Kingston Public Library  
Furniture Layout Second Floor  
The Kingston & District Library Association  
Sept. 1911  
No. 146-1911  
No. 146-1911

The second floor includes an Audio Visual Department as well as an Auditorium cum Art Gallery.

*View from Information Services towards the Bishop's House.*



*Kingston Public Library  
Third Floor Plan.*



Kingston Public Library  
 Forest Ave. Lansing, Mich. Floor  
 City plans to build addition to second floor  
 Scale 1/8" = 1'-0" Jan. 21, 1922  
 H. H. H. H. H.



The Third Floor houses the Administration offices, the Technical Services Department and a small meeting room equipped with a kitchenette.

*View of Circulation Department adjacent to the O.H.C. garden.*



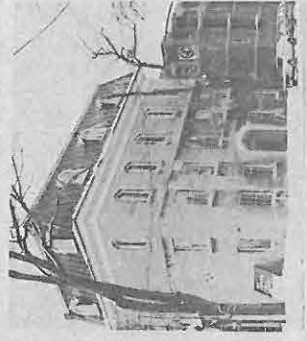
*View from Johnson Street showing the main entrance.*



Five objectives:

1. to design to meet the needs for at least the next twenty years.
2. to stay within the budget.
3. to use natural light and ventilation to limit energy consumption.
4. to fit into existing old buildings of the neighbourhood.
5. to regulate the total design including the building, the space around it, and its contents.

The site of a former convent was purchased just in time to save the outer walls of the Bishop's House, one of Kingston's oldest landmarks (shown below as part of the library).



## USE OF NATURAL ASSETS

The building incorporates the thermal stability of mass and the use of natural light and ventilation to reduce energy requirements.

Following a cost comparison of various structural systems the decision was made to use precast concrete beams, columns and slabs with load bearing outer walls of cavity brick construction. The precast concrete was pretendered and contracted before the rest of the building to save construction time.

A heavier building tends to stabilize the loads on heating and cooling systems, especially during winter months when the outside temperature can go from a deep freeze to a driving rain within 24 hours. To reduce energy requirements the building has 4" of insulation on the roof, 2½" in the walls, 1" under the basement floor and 2" on the foundation walls. All windows are wood with between the glass blinds. Many of these open to allow for natural ventilation and greater individual climate control. Skylights facing the sun have heat-intercepting louvers and thermostat-controlled exhaust fans to remove the resulting warm air. The louvers in the auditorium are manually controlled as well to permit darkening the room for movies.

The New

# Kingston Public Library

Johnson Street & Bagot Street  
Kingston Ontario Canada

Lily Inglis & Wilfred Sorensen  
Associated Architects for the  
Kingston Public Library

26 Centre St. Kingston Ontario  
Postal Code K7L 4E6, Ph. -613-542-4045

### THE TOTAL DESIGN

When the new building plans were nearly complete the Architects succeeded in obtaining the contract for the design of interior furnishings and equipment. This meant a fuller integration of all elements of the environment, thereby saving expensive duplication and conflicts of materials and furnishings. The existing furniture and equipment is being reused, refinished and in some cases discarded and new furniture and equipment is being competitively tendered.

A few elements have still to be assembled. No building should be considered complete without some works of art being commissioned. With Wintario grants this has become far easier than it used to be. In addition, it is hoped that full use will be made of travelling exhibits.

One other essential remains, namely the choosing of suitable indoor plants and their containers. The Architects are presently looking for simple, hardy and colourful plants to complete the total effect.

## THE NEW KINGSTON PUBLIC LIBRARY

In the design of the Kingston Public Library, five major objectives were adhered to, namely:

1. To create physical spaces to meet the need for a head library of a steadily growing city for the next 20 years as defined in the Library Board's program.
2. To examine the budget, make recommendations if necessary for additional funds and then stay within the revised figure.
3. To use daylight and cool breezes and the inherent qualities of heavy materials to reduce the dependency on costly energy.
4. To design a friendly building which would fit in with the old buildings of the neighbourhood.
5. To control the design of the entire building, its physical contents and the limited space around the building.

Kingston had never had a central library designed as such, and the present converted building was overcrowded with literary works. The city council decided to build a new central library in the downtown area in keeping with its policy of revitalizing the core area. The site of a former convent was purchased just in time to save the outer walls of the Bishop's House, one of Kingston's oldest landmarks, from demolition. Already the roof and much of the interior had been removed.

## DESIGN

A sloped roof sits comfortably on a long building relieved with setbacks and projections which result from the room shapes and sizes. A covered arcade gives shelter to the entrance, to parked bicycles and to a walkway toward the parking area.

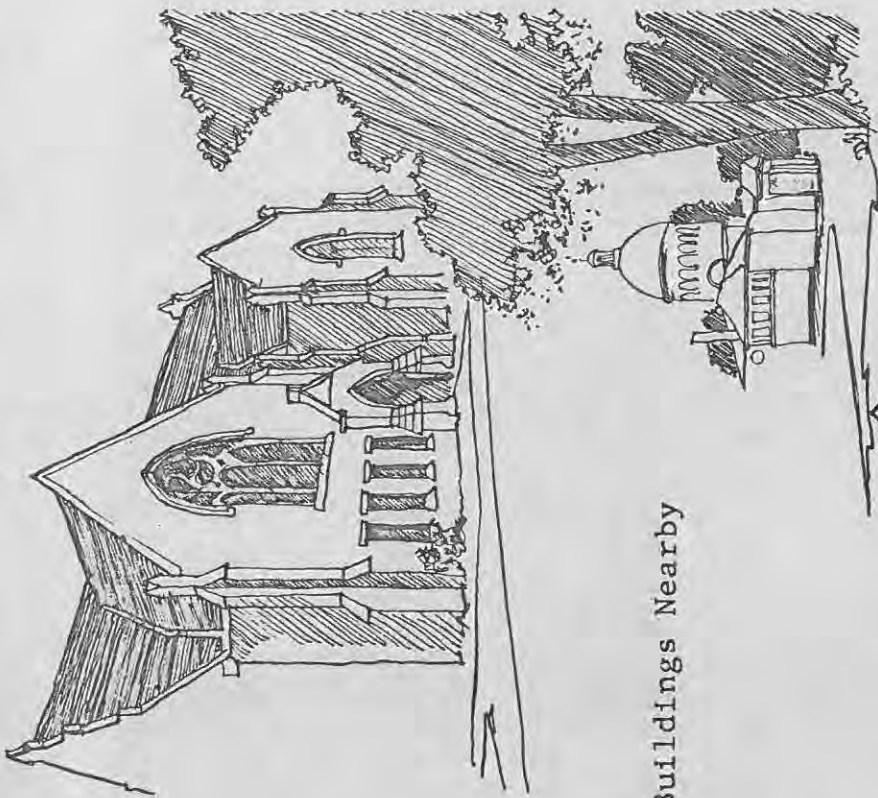
Windows are placed and sized to suit the rooms inside rather than for external appearances. There are opening windows just under the ceiling to allow the warmest air to leave the building and to prevent draughts.

A rich warm blend of brick similar to nearby older houses blends the Library with the surrounding residential area, while stone trim around windows and arches, helps form a relationship with the Bishop's House portion of the Library and neighbouring institutional buildings.

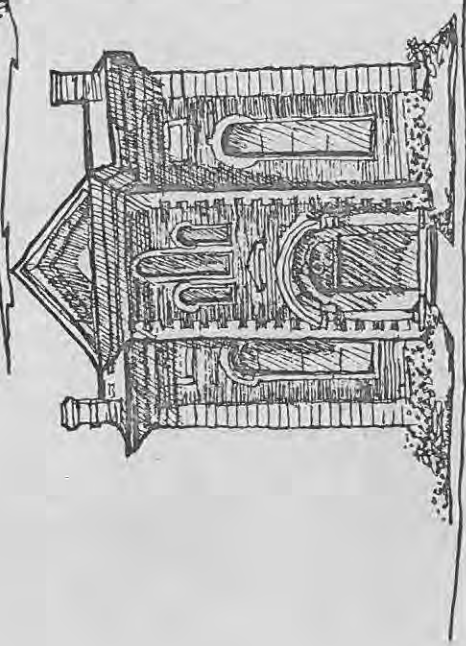
Within the building the masonry and the precast elements are allowed to create their own aesthetic. A feeling of space, unity and strength results because of the avoidance of covering veneers. Only natural wood louvers are hung between the concrete joists to shield the background fluorescent lighting. The majority of the lighting is "task lighting", i.e. lighting directed at the task being done rather than a uniform high level of lighting. Strip fluorescents are attached to the top of each bookcase to give more light on the books while using less power. The stack lighting allows for the possibility of rearrangement without the need for expensive rewiring.

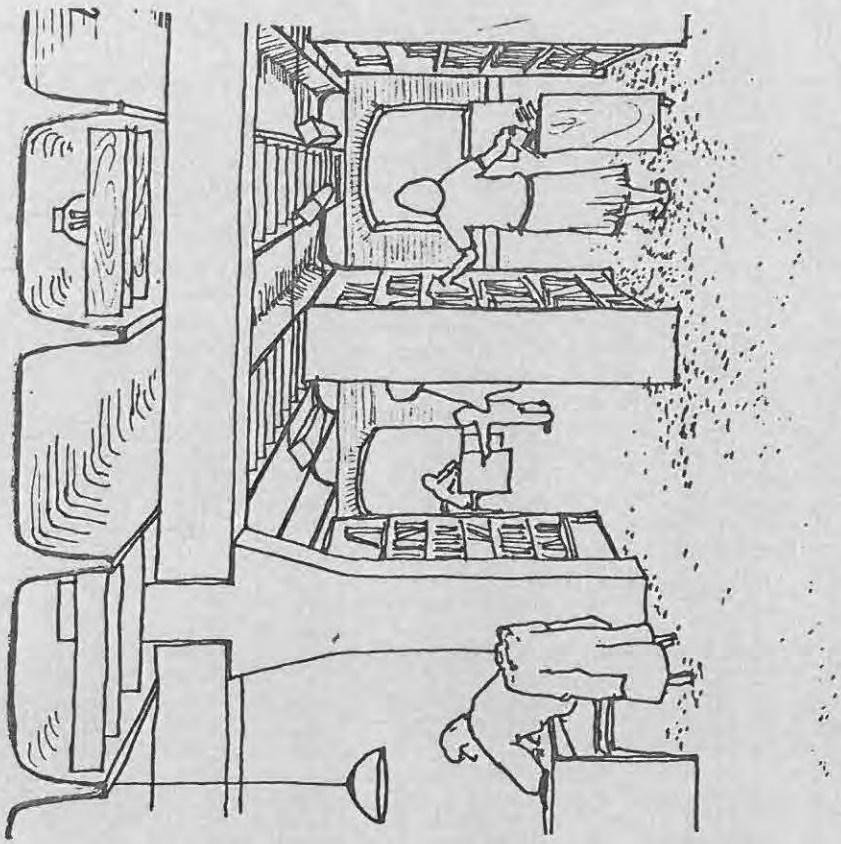


To help meet the need for senior citizen apartments in the downtown area, the city sold a portion of the site to the Ontario Housing Corporation. The two separate architect offices of Lily Inglis and Wilfred Sorensen combined forces to secure the design contract for this apartment building and later were awarded the design contract for the new library. Both firms are noted for fitting new buildings with sensitivity into older neighbourhoods and renovation of older buildings.



Buildings Nearby





Following the covered stair and bridge to the second floor one arrives at the Audio Visual Department and the Children's Library. On this floor the Bishop's House becomes the Story-Hour Room containing a puppet stage and a painting corner. The room is well lit with many paned windows on three sides. In the reading area, two bay windows with broad carpeted steps allow reclining space for children and a place for them to watch for their parents coming by car.

Coming to the second floor by the stair or elevator off the front vestibule, one arrives in a gallery like foyer with a wood parquet floor on the way to the Auditorium cum Art Gallery. Both the Foyer and the Auditorium have mostly fabric covered walls for the mounting of displays. The Auditorium is roughly square with a high sloped ceiling and two tall windows. One of these windows frames a spectacular view of two of Kingston's stone churches, St. George's Cathedral and a former Congregational church. This view forms an ideal visual relief while listening to a lengthy lecture.

The third floor houses the Administrative offices, the Staff Lounge with a roof terrace, and the Technical Services Department. A small Meeting Room with kitchenette can serve as a board room or seminar area.

The third floor of the Bishop's House is being prepared for future library use. The two storey high space is encircled on three sides by a mezzanine. Another possibility for future expansion exists on the second floor over the Circulation Department. This roof area was built to carry another floor and would provide an additional 4,000 sq.ft. of space.

## THE PHYSICAL SPACES

The main requirements were as follows:

Space for a total of 210,000 volumes by 2,000 A.D.

A Reference Library

A Circulation Department and Reading Room.

An Audio-Visual Department.

A Children's Library with separate Story-Hour Room.

An Auditorium and Art Gallery to seat 200.

Administrative Offices.

A Technical Services Department.

A Rare Book Room.

A Local History Room (the Kingston Collection).

Total Area 60,000 sq. ft.

For ease of supervision one public entrance serves for the entire building except that organized groups of children can be admitted by a door leading to the Children's Library. The main door is a sliding automatic door for the benefit of all, and particularly the elderly and those in wheelchairs. From the vestibule there is access to a stair and an elevator leading to the Auditorium and Art Gallery which allows this space to be used separately at night and on weekends when the library is closed.

Once inside the library, considerable emphasis is given the Information Desk, adjacent to the Reference Library, and enclosed on one side by an open curved stair leading to the second floor.

## THE BUDGET

When a concept plan was agreed upon a quantity surveyor was engaged to help in estimating the cost. It became apparent that the original budget had not taken inflation into account. In addition, it had been decided to maximize the land area by building over the parking lot of the Ontario Housing Corporation's apartment building.

The architects' recommendation to increase the budget from \$1,800,000.00 to \$2,370,000.00 won approval despite government cutbacks in other areas.

When the drawings were completed and tenders came in, it was necessary to withdraw some items of quality from the building in order to stay within budget. During the period of construction, Wintario grants have permitted most of these items to be reinstated.

AREAS AND COSTS

Gross areas (including external walls)	New Building sq. ft.	Bishop's House sq. ft.
Basement	11,257	1,309(net)
First Floor	20,341	1,791
Second Floor	11,690	1,791
Third Floor	7,066	1,791
Covered Parking taken as 1/3 actual	3,000	
Total	53,354	8,682

GRAND TOTAL = 62,036 sq.ft.

BUILDING

CONTRACT SUM(with carpet)\$2,370,000.00

COST PER SQUARE FOOT = \$38.20

The budget for furniture and equipment.  
less shelving is \$140,000

The cost of shelving is 62,000

Total \$202,000

DESIGN FEES \$190,000

TOTAL COSTS  
(except land cost) \$2,762,000





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## 5. CVs

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# BRAY

## HERITAGE

### Carl Bray

803 Johnson Street, Kingston, Ontario, Canada K7L 2B6  
Phone (613) 542-3393. Fax (613) 549-6231. E-mail [carl@brayheritage.com](mailto:carl@brayheritage.com)

#### **Summary of Qualifications:**

BRAY Heritage (Carl Bray & Associates Ltd.) is a heritage consulting firm specializing in the assessment, planning and development of cultural heritage resources. Carl Bray, Principal, is a heritage planner and landscape architect with graduate degrees in urban design and cultural geography. He has over 30 years of professional experience in both the public and private sectors and has successfully completed projects across Canada and in the United States, the Caribbean and Great Britain.

#### **Education:**

1988

Doctor of Philosophy in Cultural Geography and Urban Design  
University College London, U.K.  
(Geography Department/Bartlett School of Architecture and Town Planning)

1980

Masters in Urban Design  
Oxford Brookes University, U.K. (formerly Oxford Polytechnic)  
(Joint Centre for Urban Design)

1974

Bachelor of Landscape Architecture (Hon.)  
University of Guelph, CAN.  
(School of Landscape Architecture)

#### **Professional Experience:**

1999-

BRAY Heritage (Carl Bray & Associates Ltd.), Kingston, ON  
Principal

. Heritage planning, landscape architecture, urban design

1993-1999

Commonwealth Historic Resource Management Ltd., Perth, ON  
Senior Planner

. Heritage planning, landscape architecture

1988-1993

Urban Strategies Inc. (formerly Berridge Lewinberg Greenberg), Toronto, ON  
Senior Planner

. Land use planning, urban design

1980-1984

City of Toronto, Toronto, ON  
Area Planner (East Downtown/Don Districts)

. Land use planning, policy and development control

1974-1978

Private Practice, Ontario and Alberta

. Heritage planning, main street revitalization, community organizing

**Carl Bray & Associates**

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Kingston, ON K7L 2B6

TEL 613 542-3393

FAX 613 549-6231

[carl@brayheritage.com](mailto:carl@brayheritage.com)

**Professional Memberships:**

Canadian Society of Landscape Architects  
Ontario Association of Landscape Architects  
Canadian Association of Heritage Professionals  
Canadian Institute of Planners

**Research Awards:**

Graduate Study Scholarships: (Commonwealth Scholarship; Canada Mortgage and Housing Corporation Graduate Scholarship; Rotary Foundation Graduate Fellowship)

**Professional Awards:**

(C.S.L.A. Citation, First Impressions project, Charlottetown, P.E.I.; C.I.P. Citation, Campus Master Plan, University of Waterloo) CAPHC Award (Ruthven Park)  
CAHP Heritage Planning Award (Cambridge Heritage Master Plan)

**Selected Conference Speaking Engagements:**

Ontario Heritage Foundation. ICOMOS Canada. Association for Preservation Technology. Alliance for Historic Landscape Preservation. Town and Country Planning Association (U.K.).

**Heritage, Design and Planning Education:**

Adjunct Professor: Faculty of Architecture and Landscape Architecture, University of Toronto; School of Urban and Regional Planning, Department of Geography, Queen's University.

Guest lecturer: University College London, Cambridge University, Oxford Brookes University, University of Newcastle, York University, University of Guelph



# BRAY

## HERITAGE

### Marcus Letourneau

347 McEwen Drive, Kingston, Ontario, Canada K7M 3W4  
Phone (613) 546-9451. Fax (613) 546-9451. E-mail [mletourneau3@cogeco.ca](mailto:mletourneau3@cogeco.ca)

#### Summary of Qualifications:

Marcus Letourneau, PhD, Dipl(PACS), MCIP, RPP, CAHP is a specialist in heritage policy and process. He has over 16 years of professional experience in both the public and private sectors and worked on projects (both academic, non-profit, and for profit) across Canada and in the United States, and the Middle East.

#### Education:

2009

Doctor of Philosophy in Historical/Cultural Geography  
Queen's University, Kingston, Ontario.

2001

Masters of Arts (Geography)  
University of Western Ontario, London, Ontario

1998 (Awarded 1999)

Bachelor of Arts (Honours – Geography, History Minor)  
Queen's University, Kingston, Ontario.

1999

Diploma – Peace and Conflict Studies  
University of Waterloo, Waterloo, Ontario.

2013

Professional Specialization Certificate - Heritage Conservation Planning, University of Victoria, Victoria, British Columbia

2012 (Awarded 2013)

Certificate - Museum Studies, Ontario Museum Association, Ontario

2010

Ontario Management Development Program (OMDP) Certificate (with Distinction)  
- Leadership Skills, St Lawrence College, Kingston, Ontario

#### Professional Experience (from 2004):

##### **2015-Present**

BRAY Heritage (Carl Bray & Associates Ltd.), Kingston, Ontario

Senior Associate

- Heritage planning and strategic planning

##### **2015-Present**

Letourneau Heritage Consulting, Kingston/Haliburton, Ontario

Principal

- Heritage planning and strategic planning, heritage program audits, expert testimony, research, community engagement

##### **2013-Present**

Queen's University at Kingston, Kingston, Ontario

Adjunct Assistant Professor – Department of Geography and Planning

- Instructor for graduate and undergraduate courses including Qualitative Research Methods for Planners, Geography of Canada, Regional Development Theory and Practice, and Urban Political Geography

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**2011-2015**

Golder Associates Limited, Ottawa/Kingston, ON

Manager – Sustainability and Heritage (2013-2015) & Senior Cultural Heritage Specialist (2011-2015)

- Project management, heritage planning, resources identification and analysis, expert testimony, historical research

**2012-2014**

Carleton University, Ottawa, Ontario

- Taught courses in Canadian Studies (Heritage Conservation) and Geography 1992-1993

**2004-2011**

City of Kingston, Kingston, Ontario

Senior Heritage Planner

- Was the senior heritage planning staff member for the City of Kingston. Served as a project manager; developed a number of heritage policies for the City including OP policies; served as a commenting agent for development review applications from a cultural heritage perspective; served as the primary resource staff for the Kingston Municipal Heritage Committee (2004-2008); was responsible for specific OHA approvals under the City of Kingston Delegated Authority By-law (2005-2011) as well as reviewing archaeological assessments (2007-2011); was the Administrator for Kingston's Heritage Incentives Program (2005-2008); was as a public speaker/educator for the City of Kingston on heritage issues; was as the City of Kingston representative to Parks Canada and the National Historic Sites Alliance of Ontario; served on the Steering Committee for the Rideau Heritage Network (2005-2010); directed and oversaw the work of junior heritage staff, interns, volunteers, and co-op students (2005-2011); and assisted with the development of the 2007-2011 Capital and Operating Budgets.

Professional Memberships:

International Network for Traditional Building, Architecture & Urbanism

Association for Preservation Technology

Communal Studies Association

ICOMOS Canada

Canadian Institute of Planners

Canadian Association of Heritage Professionals

Ontario Professional Planning Institute

Selected Conference Speaking Engagements:

Marcus has spoken nationally and internationally on heritage issues and has presented over 20 conference papers and over 60 public lectures.

Selected Publications and Project:

Marcus has written on issues as diverse as archaeological master plan processes, heritage management programs, heritage law, Kingston and Shaker architecture, and wind energy projects. He has written as lead author or co-author over 100 technical heritage reports.

**JENNIFER McKENDRY**

[www.mckendry.net](http://www.mckendry.net)

Dr McKendry's book, *Into the Silent Land: Historic Cemeteries & Graveyards in Ontario*, evolved out of her interest in architectural history, photography and book designing. Author of numerous books, reports, and articles on historical aspects of Ontario, such as *With Our Past before Us: 19<sup>th</sup>-Century Architecture in the Kingston Area* and *Portsmouth Village: an Illustrated History*, she is a member of the Society for the Study of Architecture in Canada, the Frontenac Heritage Foundation and the Kingston Historical Society. She has given presentations to each organization, and each has presented her with an award for her work.

She received her Ph.D. from the University of Toronto in 1991; her thesis was on the architecture of Kingston, 1835 to 1865, while her M.A. from Queen's University was on the Domestic Architecture of South-Eastern Ontario from 1820 to 1850. She lives in a restored house of 1860 in Kingston, and has given illustrated lectures and papers in various locations in Canada, as well as in the United States.

A freelance researcher, her work includes various Heritage Impact Statements, historical overviews for archaeological assessments and architectural histories of such projects as old Sydenham Ward, selected aspects of KGH, Kingston Provincial Campus, the Frontenac County Court House, Kingston Penitentiary and Kingston City Hall.

Along with Peter Milliken and Arthur Milnes, Jennifer McKendry is one of the authors of *Kingston & the Thousand Islands, Then & Now*. Her most recent book is *the Early Photography of Kingston from the Postcard to the Daguerreotype*, and she is preparing one on 20<sup>th</sup>-century architecture in Kingston.